



NOTICE AND CALL OF A MEETING OF THE
TRINIDAD PLANNING COMMISSION

The Trinidad Planning Commission will hold a regularly scheduled monthly meeting on
WEDNESDAY November 20th, 2019, AT 6:00 P.M.
in Town Hall at 409 Trinity Street.

The following items will be discussed:

- I. **ROLL CALL**
- II. **APPROVAL OF MINUTES** – August 21, 2019 (*continued from Sept. 18 meeting*)
 - October 2, 2019
 - October 16, 2019
- III. **APPROVAL OF AGENDA**
- IV. **ITEMS FROM THE FLOOR**
- V. **AGENDA ITEMS**

Discussion / Decision / Public Hearing / Action

1. Trinidad 2019-12: Grading Permit and Coastal Development Permit for Phase 2 of the Trinidad Area of Special Biological Significance (ASBS) Stormwater Improvement Project. The project includes decommissioning the existing stormwater outfall and replacing it with a system of localized stormwater treatment chambers and infiltration basins.
2. Chappel 2019-08: Design Review and Coastal Development Permit to remodel an existing 1-story, 4-bedroom, 1,982 sq. ft. residence. The project includes raising a 418 sq. ft. section of roof from approximately 8.5 ft. in height to a max of 12.25 ft., extending approximately 400 sq. ft. of roof over existing patios and walkways, the addition of 40 sq. ft. to the covered entry, and replacing one bedroom with an expanded master bath and laundry room. After

project completion, the residence will be 3-bedrooms, and will remain 1-story and 1,982 sq. ft. in floor area. A new 3-bedroom septic system was recently installed.

3. Ketchum 2019-11: After-the-fact Coastal Development Permit for interior remodeling of an existing, split-level, 3,505 sq. ft. residence that converted partially finished storage rooms into bedrooms, increasing the number of bedrooms in the main house from two to four. Other work included new seismic protection for existing kerosene tanks, addition of a new hot tub and expansion of the existing septic system. No change in the height or footprint of the existing structure occurred, and no changes to the existing 1-bedroom attached accessory dwelling unit were made.
4. General Plan Update: Discussion of water related policies. *Continued from the October 16, 2019 meeting.*

VI. COUNCIL REPORT

VII. STAFF REPORT

VIII. FUTURE AGENDA ITEMS

IX. ADJOURNMENT

The meeting packets can be accessed at the following link:
<http://trinidad.ca.gov/document-library/pc-meeting-packets-2019>

MINUTES OF THE REGULAR MEETING OF THE TRINIDAD PLANNING COMMISSION
WEDNESDAY, AUGUST 21, 2019

I. CALL TO ORDER/ROLL CALL (6:00 pm)

Commissioners Present: Graves, Lake, Johnson, Stockness

Commissioners Absent: Kelly

City Planner Staff: Parker

City Staff: Naffah

II. APPROVAL OF MINUTES

July 17, 2019

Motion (Johnson/Stockness) to approve as submitted. Passed (4-0).

III. APPROVAL OF AGENDA

No formal motion to approve the agenda. Approval made by acclamation.

IV. ITEMS FROM THE FLOOR

There were no items from the floor.

V. AGENDA ITEMS

1. General Plan Update: Discussion of (a) next steps and schedule, (b) Introduction chapter and vision statement (c) water service policies of the Circulation Element, (d) Service Area and Sphere of Influence policies and priorities (Land Use Element).

Staff report

Planner Parker summarized the agenda memo, which included a summary of issues discussed at the joint Planning Commission / City Council meeting on July 31, 2019. Topics included answers to the specific Planning Commissioner questions, public outreach, scheduling, climate change, community change, introduction chapter and vision statement, and water service policies. The emphasis for this meeting will be to review the Introduction chapter and vision statement, and, if time, water policies.

Parker explains that she has updated the Introduction based on current information as well as Coastal Commission comments. In addition, Commissioner Kelly provided an executive summary of the general plan that Parker edited and added to the section regarding the 'current general plan.' Commissioner Kelly also provided an alternative vision statement that included a much more succinct vision along with several "strategic goals" that are intended to be carried through the whole general plan and be used to help interpret policies and other guidance.

Commissioner Questions/Comments

Commissioner Graves suggests holding off on the public comment portion of the hearing until after Commissioner discussion for general plan discussions.

Commissioner Lake requests that Commissioners be given an opportunity ask questions and bring up non-agenda issues at some point during the meeting, such as during "Items from the Floor." She wants to ensure that the general plan update schedule is available to the public. She

suggests having a 1-click location for accessing general plan update documents on the City's home page. All the background documents and draft elements should be in that easily accessible location.

The discussion moves on to the Introduction. There was some confusion regarding the attachment that included Commissioner Kelly's suggested vision statement, because some of the text was cut off. Planner Parker explained that the material that had been cut off was the executive summary, which had already been incorporated into the text of the Introduction.

Commissioner Lake points out that General Plan 2010 should now be 2020. She also notes that acronyms are used and written out inconsistently throughout the document. Parker suggests that each element have its own list of acronyms for ease of use, and that she will ensure that they are written out only the first time they are used and used consistently.

Commissioner Johnson wants to ensure that all the background documents listed on page 6 are made available on the City's website. He also clarifies whether all the Coastal Commission staff comments have been addressed. Parker confirms that is the case for the Introduction.

Parker brings the Commission's attention to a highlight on page 6 where the Coastal Commission staff recommended that overlapping / cross-referenced policies just be listed rather than written out multiple times, noting that the Planning Commission made a conscious decision to write them out in each section they apply in the current draft for ease of use by the public. Commissioner Lake's preference is to just follow the Coastal Commission recommendations, even if they are not mandatory. The other Commissioners generally agree with that, but in this case, prefer the policies to be written out each time.

The Commission discusses the new "Plan Highlights" section and several edits are made for clarification.

The Commission then discusses the Vision Statement. There is a general consensus that Commissioner Kelly's version is preferred. Some changes to the wording and order of the strategic goals are discussed.

Public Comment

S. Laos (Trinidad Rancheria) refers to staff's suggestions that a flyer be mailed to City residents regarding the general plan update to encourage participation. She suggests that the mailing include a broader area, since City decisions affect areas outside the City, and people outside the City are also part of the community. She also expresses her preference for Kelly's version of the Vision Statement.

D. Cox (Trinidad Resident) comments that the public notices/agendas should specifically state what part of the general plan will be discussed at each meeting, so the public can be prepared.

E. Weinreb (Greater Trinidad Resident) suggests providing a link to the packet materials, because they can be hard to find.

Commissioner Discussion

Planner Parker suggests that she can add a link to the packet on the agenda. Commissioner Lake would also like to see a general plan update schedule posted around town. Parker warns that the

schedule often changes, so that could cause confusion; it would have to be a short-term schedule and clearly state that it is subject to change.

Motion (Johnson/Lake) to accept Commissioner Kelly's Vision statement as amended.

Motion (Lake/Johnson) to pass the Introduction chapter, as amended, on to the City Council for review. Motion passed unanimously (4-0).

Commissioner Discussion

The Commission requests that staff include the amended Introduction in the next Planning Commission packet.

The Commission moves on to discuss water service policies. Planner Parker explains that water policies are included in two different elements. The Land Use Element includes policies related to the City's service area, and the Circulation Element includes policies related to the water plant/system and water service in general.

Commissioner Lake is strongly in support of keeping the City's water right on Mill Creek and having Mill Creek designated as a Critical Water Supply by the County.

Commissioner Johnson suggests that the Planning Commission should put off further discussion of water policies until some of the pending GHD reports, including one on Luffenholtz Creek flows and one on alternative water sources, are available. Commissioner Graves opines that the City needs a Plan B. Commissioner Stockness agrees, stating that hooking up to HBMWD should be explored. Commissioner Lake states her strong opposition to HBMWD water for the City. Stockness clarifies that she meant a hook-up for users outside City limits.

A discussion ensues regarding an upcoming presentation by County Supervisor and Greater Trinidad Area resident S. Madrone and Westhaven CSD President D. Hankin that will discuss tapping into springs in upper Luffenholtz and rainwater catchment.

Commissioner Lake states the language "as well as those outside City limits where appropriate" in Goal LU-8 should be removed. Lake advised that she spoke with residents regarding this as well, and they were in agreement. Planner Parker notes that section applies to the entire water service area, not just City limits. There is a brief discussion about annexation and how formation of service district might work. Additionally, Lake advised she had done her own research regarding the origin of related policies, and when she requested further clarification the Planner had limited information.

Public Comment

D. Cox (Trinidad Resident) states that the City needs to ensure water service for residents first. She is not in favor of a district.

E. Weinreb (Greater Trinidad Area Resident) states that no one in Westhaven wants to hook up to HBMWD water.

S. Laos (Trinidad Rancheria) notes that Westhaven CSD obtained a grant to find and repair leaks in their water system.

Commissioner Discussion

Commissioner Graves summarizes his conversation with County planning staff regarding an investigation into possible illicit water diversions on Luffenholtz Creek.

Commissioner Johnson notes an error in table 3 of the water demand assessment. Commissioner Graves expresses his concern regarding the amount of water loss in the City's system.

VI. COUNCIL REPORT

There was no Council report.

VII. STAFF REPORT

There was no staff report.

VIII. FUTURE AGENDA ITEMS

Commissioner Stockness noted that septic and parking capacity are both concerns for ADUs, and suggests that parking needs to be further discussed.

Commissioner Lake states that the Coastal Commission staff comments on the draft general plan should be forwarded to the City Council. She notes that "correspondence" used to be part of the Council agenda, and they should be receiving City correspondence.

IX. ADJOURNMENT

Next meeting regularly scheduled meeting is September 18, 2019. Meeting has been adjourned at 8:20 pm.

Submitted by:

**Trever Parker
City Planner**

Approved by:

**John Graves
Planning Commission Chair**

**MINUTES OF THE SPECIAL MEETING OF THE TRINIDAD PLANNING
COMMISSION
WEDNESDAY, OCTOBER 02, 2019**

I. CALL TO ORDER/ROLL CALL (6:03 pm)

Commissioners Present: Graves, Lake, Johnson, Stockness
Commissioner Absent: Kelly
City Planner Staff: Parker
City Staff: Zetter

II. APPROVAL OF AGENDA

No formal motion to approve the agenda. Approval made by acclamation.

III. ITEMS FROM THE FLOOR

Commissioner Lake thanked staff.

IV. AGENDA ITEMS

- a. General Plan Update: Discussion of (a) updated draft Land Use Element and (b) December 2012 draft Noise and Public Safety Element. Continued from the September 18, 2019 Planning Commission meeting.*

Staff report

City Planner Parker does not have an updated staff report, but instead plans to proceed with where the Planning Commission left off at the last meeting.

Land Use Element: Page 6

Commissioner Graves suggested that the term *attitude* in LU-1b.3 be replaced with *concerns*.

Land Use Element: Page 7

Commissioner Graves questioned the use of *other initiatives*. City Planner Parker advised it was a recommendation from the California Coastal Commission. She also stated Crescent City used *other initiatives* in their General Plan. Parker opined there are different ways to organize a general plan and address various mandates. Policies are currently defined to be mandates, where *other initiatives* tend to be advisory, using words such as “encourage” and “support.” Commissioner Lake questioned if *other initiatives* would be a sub-section. Parker said they would be within each goal/topic. Parker also confirmed she will use the City symbol to differential those policies are not coastal related policies but are still City mandates.

Land Use Element: Page 8

Commissioner Johnson made a punctuation change in the last bullet point of other initiatives for Sustainable Development. Lake mentioned the reference of “smart growth,” and questioned whether it should be sustainable development? Parker will look into it.

Land Use Element: Page 9

Graves advised he would like Program LU-1d.3.1 to be provided in both the Safety and Land Use Elements. Stockness echoed Graves recommendation. Parker confirmed she will ensure that it is in the Safety Element.

Johnson made a grammatical change to Program LU-1d.2.1. Parker mentioned that in response to the CCC staff comments, she will be developing the programs further. However, she wants to do so when the hazard plan is completed.

Commissioner Lake mentioned the Trinidad Bay Trailer Court, and requested to know if it should be solely visitors’ services, as the issue was raised in the Coastal Commission comments. A discussion regarding affordable housing, zoning change to Planned Development, and state/federal housing requirements ensued.

Land Use Element: Page 10

Stockness questioned the use of coastal development on page 10, section D, in regards to the Trailer Park. Lake stated that in the current GP the trailer park is visitor services, so the City needs to justify how the use has changed. Parker stated the City also needs to clarify that most of the spaces are used as long-term housing.

Land Use Element: Page 11

Johnson requested clarification regarding whether ADUs need to be compliant with state law, as it does not indicate it requires an ordinance. Parker clarified an ordinance is required, and that the intent is to include regulations in the new zoning ordinance. Lake questioned how to address preserving neighborhoods, for example how to address design standards. She opined that preserving and enhancing the character of the City is important. Parker clarified it is addressed in the language of the General Plan. Graves questioned if there has been a discussion of creating a historic district. Both Parker and Commission Johnson confirmed there has been. Parker advised that a historic designation requires historical significance. Lake opined preservation is also an enhancement for walkability. Graves stated a historic district allows the City to have more control.

Land Use Element: Page 12

Johnson raised the question if the General Plan is too specific with who owns the property. Parker advised the General Plan can generalize and the reference to specific ownerships can be removed.

Land Use Element: Page 13

Johnson advised the 3rd sentence on page 13 should say *designated* instead of *design*. Johnson stated that in the 3rd paragraph it references two vacant parcels, which are actually four

parcels. He advised the horse pasture may be potentially developed, so it should be confirmed what the Land Trust's intentions are. Parker questioned if Public and Community designation be appropriate? Lake advised if the City designates the lots to be MU, the Land Trust would have the ability to develop. Parker did clarify there are some building issues on the pasture. Parker also confirmed the map has not been updated at this point in the process, so this is an opportune time for the Land Trust to discuss the zone designations and request a specific zone or for specific uses in the zoning be changed. Lake mentioned the possibility of big box retail projects, as there is language that requires a fiscal analysis. Parker confirmed there is language in the Community Design Element that addresses it. Graves provided Arcata's ordinances and General Plan language that addressed this issue, as an example in regards to Lake's inquiry.

Land Use Element: Page 14

Johnson questioned information in the second paragraph. He questioned if the City owns the land under the pier and mooring field to hold in trust for the people of the state. Parker advised, it is her understanding that the State Lands Commission granted the City title of ownership of the mooring fields. Furthermore, the Rancheria leases the mooring field from the City. Johnson questioned if the City has CDP control. Parker clarified it is in the CCC's jurisdiction.

Graves questioned if the land is put into trust, will the Harbor section of the General Plan need to be rewritten. Parker advised it will be, and clarified the City has developed the policies in conjunction with the Rancheria, so this has been vetted more than other sections. Additionally, the area is not in trust status yet. Lake questioned if it is a public pier. Parker confirmed it is and will not be put in trust. She clarified it is located on City property, but it is privately owned. However, it was publicly funded, as the grant given for rebuilding was state funding. Johnson noted there is no formal agreement for public access after 2032, so the General Plan must include public access to the pier after 2032. Additionally, the public easement from Galindo to the launcher beach is only accessible by foot. Lake advised this is an important issue that needs to be clarified in the General Plan.

Land Use Element: Page 15

None

Land Use Element: Page 16

Johnson requested a change of LU-6.8 title to read as *Trinidad Bay ASBS*, not Trinidad Head ASBS. Parker responded that is it officially named the Trinidad Head ASBS. Johnson advised in the last sentence of LU-6.9 the word should be *risk*. Lake advised that in LU-4.5 the General Plan needs to name where the public launches are. Johnson opined Lake's statement revisits the topic of access, as the launcher itself is private property. There was a discussion about what *kept in working order* means and how it would be enforceable (or not). A discussion regarding access to Launcher Beach continued. Graves suggested it be a topic the City Council and City Manager discuss with the Rancheria and get an MOU or a formal agreement.

Land Use Element: Page 17

Johnson advised that in section State and Federally Owned Lands on line six change CDPs permit to CDP permit.

Land Use Element: Page 18

Parker advised her understanding is GHD is currently editing the water reports after reviewing staff comments. The Planning Commission will likely discuss the reports and water policies at the next meeting. Lake questioned if the City has annexation standards. Parker confirmed the City has generic standards. Graves advised there are cases where annexation is desirable, such as if someone’s septic or well fails. Johnson questioned if scenarios were mapped out. Parker advised they are.

Public Comment

None

V. STAFF REPORT

Parker advised water policies will be discussed soon, and she is also expecting to review the coastal hazards report soon. She confirmed the Rheinschmidt project will be coming before the Commission at the next meeting, and three projects will be coming before the Commission in November.

VI. ADJOURNMENT

Next regularly scheduled meeting is October 16, 2019. Meeting has been adjourned at 6:40 pm.

Submitted by:

**Angela Zetter
Administrative Assistant**

Approved by:

**John Graves
Planning Commission Chair**

**MINUTES OF THE REGULARLY MEETING OF THE TRINIDAD PLANNING
COMMISSION
WEDNESDAY, OCTOBER 16, 2019**

- I. CALL TO ORDER/ROLL CALL (6:01 pm)**
Commissioners Present: Graves, Kelly, Lake
Commissioner Absent: Stockness, Johnson
City Planner Staff: Parker
City Staff: Zetter

II. APPROVAL OF MINUTES

August 21, 2019 (continued from September 18, 2019 meeting)

No motion was made to approve the minutes of the August 21, 2019 minutes, because there was no quorum of those in attendance.

September 18, 2019

Motion (Lake/Kelly) to approve the minutes as submitted. Passed (3-0).

III. APPROVAL OF AGENDA

No formal motion to approve the agenda. Approval made by acclamation.

IV. ITEMS FROM THE FLOOR

None

V. AGENDA ITEMS

1. Rheinschmidt 2019-10: Design Review and Coastal Development Permit to construct a new 36' x 24', 864 Sq. ft., 16' tall, detached garage. A garage was previously approved by the Planning Commission in February 2007, but was never constructed, and the approval has expired; the concrete foundation for the garage was already constructed under the previous approval.

Staff report

City Planner Parker noted the initial project was for a taller garage, but the project has since been modified. The applicant revised it to a 16-ft. tall metal garage and will paint it to match the existing structure on site. Parker explained there is no soil disruption, because the pad was already constructed under a previous permit. Parker explained accessory structures are limited to 15-ft. in height, but that the Planning Commission has regulated them as residential structures in the past due to the limitations of the accessory structure regulations. The garage meets all of the required setback, density and parking requirements. She also clarified no proposed changes have been made to the landscape. She stated Design Review is required, and the proposed conditions of approval are relatively standard.

Commissioner Comments/Questions

Commissioner Lake questioned if there were some comments when referrals were sent out. Parker explained the City Engineer requested utilities be shown on the site plan, and appropriate soil erosion control information be provided (which no longer applied due to the preexisting concrete pad). Lake advised her position has remained the same in regards to garages being designated as accessory structures, which limit the height to 15 ft. Lake presented information from other California City ordinances. Commissioner Kelly advised she performed the same process by examining Law Insider's site. Kelly presented information from additional sources. Parker acknowledged that garages are normally treated as accessory structures, but the City has found in the past that they are better regulated as residential structures. Kelly advised that going forward she would like a more simplistic definition for garages, because there is some ambiguity with the current ordinances. Furthermore, Kelly advised that because the applicant did previously receive approval, and has made major modifications, it is clear that it will not be a living space. Thus, she is in favor of approving the project. Lake advised she does not take issue with the garage, but instead with the interpretation of current ordinances. Lake questioned if there are other prefab garages that will fit the standard of 15 ft. Parker advised that in her experience a lot of ordinances have height flexibility, depending on the setbacks, noting that the fact that Trinidad's ordinance doesn't require any setbacks for accessory structures is problematic. Commissioner Graves agreed with Lake that there is a problem with the existing ordinances.

Public Comment

G. Rheinschmidt (representative for applicant) advised the applicant has made every effort to keep the height as low as possible. He explained that due to the length of the building, it has to be 16-ft. tall to meet the required roof pitch. He opined there needs to be a distinction between a prefab and conventionally framed garage, as the prefab metal building is unlivable. Additionally, he advised he wasn't aware the height would be such an issue, but is willing to talk to the builders. However, he advised he wasn't sure how a lower height would work with the garage door opening.

Commissioner Discussion

Lake advised she appreciates the applicant's comments but was hoping that it could come down to 15-ft. Kelly confirmed the story poles are currently up. Graves advised he is comfortable with approving the project, as a substantial amount of work has been done to meet the concerns of the community, and if necessary, the Commissioners can add a condition of approval regarding the height. Lake advised she is concerned about not following the standards of the zoning ordinance. She suggests an exception for the height based on the fact that it is a pre-fac building, rather than not categorizing garages as accessory structures. Parker notes that there are no provisions for exceptions in Trinidad's zoning ordinance. Kelly stated the Commission is being consistent with past precedent, but that it is clear that the ordinance needs to be revised. Parker advised there have been at least three similar projects, and it may be more consistent to follow that past precedent.

Public Comment

D. Cox (Trinidad resident) stated the issue is with the City's ordinances. She advised if there is an ordinance and it is in effect, so it needs to be followed.

Commissioner Discussion

Motion (Kelly/Lake) to approve the project as submitted in the application, based on the application materials, information and findings included in the staff report, and based on public testimony, and findings in the staff report. Passed (3-0). Passed unanimously.

Lake made note that she would like the City to look at San Luis Obispo ordinances. Kelly advised she will also send additional information to Parker.

2. General Plan Update: Discussion of water related policies in the Land Use and Circulation Elements.

Staff report

City Planner Parker advised three GHD reports have recently become available, and reminded the Commission there are two elements in the General Plan where water is discussed – Land Use (water service area) and the Circulation (water service). She clarified there is some overlap. She advised she has updated some of the text but has not changed much of the policy aspect without direction from the Planning Commission. She also recognized that there have been concerns expressed regarding the possibility of forming a water district. She advised that the water district could be governed by the City Council, and included additional information in the packet.

Commissioner Discussion

Commissioner Lake opened the discussion regarding the LAFCo information provided in the report. Parker advised LAFCo is the agency with the authority to approved boundary changes of local jurisdictions, including cities and service districts; they also approve out of jurisdiction water (and other utility) connections. She explained LAFCo is in place for growth control and also approves the sphere of influence. Parker clarified that if the City wants to form a district district, extend water service, annex, etc. LAFCo needs to approve it. Lake requested a definition of LAFCo and an explanation of how it interfaces with the City. Parker advised she will include it. Commissioner Graves questioned information regarding rain catchment. He questioned the data of 1000 residents noted in the GHD. Parker advised it likely includes the water service area.

Graves opened the discussion to the incorporation of climate change into the General Plan. He advised it opens up a broader question of how the City goes about writing the General Plan, because the worse impacts are not going to be felt for 20 to 30 years, which is beyond the planning horizon of most general plans. However, he stated some will be felt in the next decade. He further stated the City will likely see growth from individuals moving away from the areas that are warming, thus the City needs to plan for the worst-case scenario. Lake advised she was shocked by the small infiltration gallery at the water plant and wants the City to be very conservative in order to protect resources.

Commissioner Kelly opined, as water is a precious commodity, the raw water sources need to be kept in mind. She advised the City needs backup plans and opined that Steve Madrone's plan should be included as a possible option. Lake advised extraction is the largest issue, and a Humboldt Bay hookup is \$10 million. She opined that is not feasible in the next 10 years. Graves opined many do not want to go in that direction, but the City needs to plan ahead before an emergency. Lake advised in summary the reports were very helpful. Parker provided a short explanation of the reports for the Commission and public. Graves advised that Madrone's proposal discussed a pilot project. Graves further stated the City should not dismiss rainwater catchment as an option. Graves presented research he conducted regarding rain catchment system pricing. Lake questioned the cost to replace City infrastructure.

Public Comment

D. Cox (Trinidad resident) stated she doesn't know how decisions can be made without a full Commission. She advised Commissioner Johnson is passionate about this issue, so he should be present. She further stated she doesn't know where the City will get the funding for a Humboldt Bay hookup. She questioned the City's knowledge about illegal extractions upstream.

S. Laos (Trinidad Rancheria) noted the Rancheria has reviewed all of the reports and are doing their due diligence, but they do not have any comments at this time.

Commissioner Discussion

Graves questioned if there are specific questions the Planner wants guidance on. Parker advised she wasn't expecting any decisions to be made at this time, but low flows and climate change are the big unknowns right now.

Lake questioned the information regarding the increase in water demand. She wants a closer number as to what the City build out will look like with ADUs. Parker stated the City needs a conservative approach and the latest reports are fairly general, presenting a range of issues. She opined maybe some clarification needs to be made. Graves advised the City is drafting the General Plan for both the citizens, and local/state authorities.

Parker stated the City currently does not have a mechanism to regulate water use, but if one is proposed the City needs to know how to incorporate their use into the current water usage process.

Commissioner Discussion

Lake stated the bullet point, in regards to change in operations, on page twenty-nine of the Circulation element is confusing. Parker advised the change in operations is complicated, so she marked it for review. Parker also advised GHD is building a model of the City's water system. Lake requested examples, and advised she would like the bullet points in red to remain.

Graves advised Commissioner Johnson may be out for the next few meetings, so he questioned the ability of working on the General Plan without a full commission. Parker noted there are deadlines with the LCP Update grant.

VI. COUNCIL REPORT

City Councilmember Grover advised he is working on training for emergency response.

Public Comment

S. Laos (Trinidad Rancheria) advised Humboldt County held a training at Westhaven Fire Hall, but stated she did not remember if anyone from the City was present.

VII. STAFF REPORT

Parker advised she is still working on the storm water project. As for projects, there will be one for raising a roof on East street and for 40 Scenic for an after-the-fact permit. Parker advised she will try and come up with a plan of action for the General Plan, but it will be fairly minimal before the end of the year.

VIII. FUTURE AGENDA ITEMS

The future agenda items are the City's stormwater project, a project to raise a roof on East street and an after-the-fact permit for work at 40 Scenic as well as the general plan update with an emphasis on water and hazard policies.

IX. ADJOURNMENT

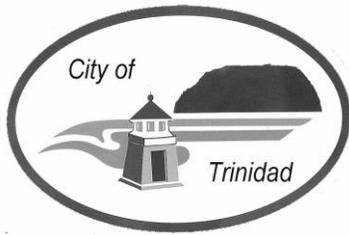
Special meetings will be on November 6th. Next regularly scheduled meeting is November 20, 2019. Meeting has been adjourned at 7:58 pm.

Submitted by:

**Angela Zetter
Administrative Assistant**

Approved by:

**John Graves
Planning Commission Chair**



Filed: NA
Staff: Trever Parker
Staff Report: November 12, 2019
Hearing Date: November 20, 2019
Commission Action:

STAFF REPORT: CITY OF TRINIDAD

APPLICATION NO: 2019-12

APPLICANT: City of Trinidad

AGENT: NA

PROJECT LOCATION:

The project will occur within City rights-of-way, including Edwards Street, Ewing Street, Underwood Drive, Van Wycke Street and Galindo Street. A portion of the project will also occur within the gravel parking lot within the Trinidad Harbor Area.

PROJECT DESCRIPTION:

Grading Permit and Coastal Development Permit for Phase 2 of the Trinidad Area of Special Biological Significance (ASBS) Stormwater Improvement Project. The project includes decommissioning the existing stormwater outfall and replacing it with a system of localized stormwater treatment chambers and infiltration basins.

ASSESSOR'S PARCEL NUMBER: 042-071-001 & City ROW

ZONING: OS, PR and None

GENERAL PLAN DESIGNATION: OS, PR and None

ENVIRONMENTAL REVIEW:

A Mitigated Negative Declaration was adopted by the Planning Commission by Resolution #2019-02 on June 19, 2019 (SCH#2019059011)

APPEAL STATUS:

Planning Commission action on a Coastal Development Permit, Design Review, Variance, Conditional Use Permit or Grading Permit application will become final 10 working days after the date that the Coastal Commission receives a "Notice of Action Taken" from the City unless an appeal to the City Council is filed in the office of the City Clerk at that time. Furthermore, this project X is ~~is not~~ appealable to the Coastal Commission per the City's certified LCP, and may be appealable per the requirements of §30603 of the Coastal Act or.

SITE CHARACTERISTICS:

The project site is located within City of Trinidad rights-of-way and within the Trinidad Harbor area. Specifically, the project is located within the developed and paved portions of Underwood Drive, the western portion of Edwards Street, Ewing Street, lower Van Wycke, and within the gravel parking area within the Trinidad Harbor Area (APN 042-071-001; Launcher Beach). Adjacent land uses include almost exclusively residential and public open space.

STAFF COMMENTS:

Project Background

The primary objective for this project is to decommission the existing stormwater outfall on Launcher Beach in order to comply with the CA Ocean Plan's prohibition of waste discharges into Areas of Special Biological Significance (ASBS) / State Water Quality Protection Areas (SWQPA) and the City's ASBS Compliance Plan. Trinidad Bay is designated as an ASBS/SWQPA. This project is the continuation of Phase 1 of the project, which was constructed in 2015 and 2018 on Trinity Street, Ocean and View Avenues, East and West Streets and the intersection of Underwood Drive, Parker and Hector Streets.

The proposed project includes decommissioning the existing stormwater outfall and replacing it with a system of localized stormwater treatment chambers and infiltration basins. The intent of the design is to treat and dispose of stormwater closer to the areas of stormwater generation, which allows for a more distributed network of stormwater infrastructure that can be tailored to the anticipated runoff volumes generated by the contributing sub-watersheds. In addition, the proposed project includes infrastructure to provide pollutant removal and capture of stormwater runoff. The treatment units are designed to remove oil, dirt, and trash from the stormwater, and are sized to allow the flow from the 50-year, 24-hour storm event through the unit. Stormwater is then infiltrated into native soils after leaving the treatment unit.

In summary, the project includes primary treatment systems located prior to each infiltration unit along or near Ewing Street, Underwood Drive, Edwards Street and the Trinidad Harbor parking area. The project also includes installation of a new stormwater drainage pipe that connects to the existing pipe at the intersection of Galindo and Van Wycke, along Van Wycke and then down Edwards to the Harbor infiltration system. The existing storm drain pipe between the intersection of Van Wycke and Galindo and the existing outfall will be abandoned in place.

Project Details

The following provides a break-down of proposed improvements by location:

Ewing Street: The improvements here include two new drain inlets west of Marine Lab, and approximately 10 feet of new 12-inch diameter HDPE stormdrain pipe that will direct stormwater to a treatment chamber and then to 110 feet of 72-inch diameter stormwater infiltration pipe. Note that the improvements in this area were designed, sized and located based the site's cultural sensitivity, and the improvements on Underwood were expanded to allow the size to be minimized.

Underwood Drive: The improvements are proposed on the northern end of the street, and will include approximately 500 ft. of mountable (meaning it can be driven over, so won't impact parking) curb along the existing western edge of the pavement to capture and direct stormwater into the four new drainage inlets. The drainage feature includes approximately 40 feet of 12-inch stormdrain pipe, a treatment chamber and approximately 160 feet of 72-inch infiltration pipes that will be partially located under the paved portion of the roadway and partially under the unpaved eastern shoulder.

Edwards (east of the intersection with Galindo): The improvements include three new drain inlets (one on south side of the street and two on the north), approximately 100 feet of 12 and 18-inch stormdrain pipe, a treatment chamber, and approximately 300 feet of 48-inch diameter infiltration pipes.

Lower Edwards and Van Wycke Streets: Approximately 250 feet of new 36-inch stormdrain pipe will be constructed from the intersection of Galindo and Van Wycke, where the existing stormdrain pipe that leads down the Galindo Trail to the outfall will be disconnected and capped, west along lower Van Wycke to Edwards Street; this section will not include any new drain inlets or infiltration facilities. Along lower Edwards, seven new drain inlets will be installed, four on the south/east side of the street, and three on the north/west, along with approximately 350 feet of new 12 to 36-inch stormdrain pipe; no new infiltration features are included in this location.

Harbor Parking Area: The improvements here, which are located on Rancheria property (APN: 042-071-001) adjacent to Trinidad State Beach, include the largest infiltration feature, consisting of a treatment chamber and approximately 1,130 feet of 72-inch diameter infiltration pipe, approximately 80 feet of new 42-inch stormdrain pipe to connect to lower Edwards, but no new drain inlets.

Galindo to Outfall (Launcher Beach): The existing storm drain outfall and existing pipe will be demolished back to the edge of the paved parking lot, and the end of the pipe will be capped; sand and riprap will be replaced as needed. The pipe will be disconnected at the intersection of Galindo and Van Wycke Streets, filled with concrete slurry, capped, and left in place to minimize soil disturbance.

Additional plan details, including specific locations and treatment chamber details are included in the 100% design construction plans attached to this staff report.

CEQA

In accordance with the California Environmental Quality Act (CEQA), the City prepared an Initial Study evaluating the environmental impacts that could result from the proposed project. Based on the initial study, it was found that all impacts would be less than significant with specific mitigation measures incorporated. Therefore, after public and agency review, the Planning Commission adopted a Mitigated Negative Declaration (MND) via Resolution #2019-02 on June 19, 2019 (SCH#2019059011). The CEQA document and background studies can be found in the Stormwater box on the City's downloadable documents page.

A few minor alterations have been made to the project since the CEQA document was adopted. However, the CEQA document was written to account for minor variations in the final project design. And the modifications, mostly consisting of changes to the size and exact location of the infiltration facilities, do not change the potential impacts of the overall project. The biggest changes were in the exact locations of various infiltration features. The mitigations identified in the CEQA document to reduce the project impacts have been incorporated into the project specifications.

NEPA

A portion of the project funding is coming from a federal agency (USDA). Therefore, an Environmental Assessment was completed for the project pursuant to the National Environmental Policy Act. Based on the EA, which was prepared by City staff, a Finding of No Significant Impact was approved by the USDA in December 2018. However, the process did include public notification, a comment period, and tribal consultation. The document included the same mitigation measures as the CEQA document.

Required Permits

The project requires approval of: (1) a Coastal Development Permit (CDP), because it constitutes development in the coastal zone; (2) a Grading Permit because it is excavating and filling more than 1,000 sq. ft. of surface area and/or 50 cu. yds. of material. Approval of the Grading Permit will constitute approval of the Coastal Development Permit. The findings required for the approval are below.

In addition to the City permits, a Coastal Development Permit must be approved by the Coastal Commission for the outfall demolition, because that area is outside the City's CDP jurisdiction. The City is working with Coastal Commission staff to process that CDP, which will likely be a waiver under the provisions for maintenance of existing structures.

Potential Conflicts of Interest

There are no known conflicts of interest.

GRADING & ZONING ORDINANCE / GENERAL PLAN CONSISTENCY

The project is mostly located within City rights-of-way, which do not have an associated zoning designation. The City's grading and zoning ordinances require a grading permit and CDP if more than 1,000 sq. ft. of surface area or more than 50 cu. yds. of soil will be disturbed. The proposed project clearly exceeds those thresholds. The information required to be submitted by the grading ordinance as part of an application has been received. The Grading Permit is issued by the Planning Commission, but it is up to the City Engineer to ensure that all the provisions have been met. The project will not significantly alter land contours after construction; the only above-ground improvements include curbs, drain inlets and manhole covers. Therefore, Design Review approval is not required.

The findings that are required to be made by the Engineer (§15.16.070) are that the proposed grading will not adversely affect the drainage or lateral support of other properties in the area, and will not be detrimental to the public health, safety or the general welfare and is not in conflict with City ordinances. It was the City Engineer's office that designed this project after a detailed and comprehensive geotechnical analysis was completed and a groundwater model was developed. A slope stability analysis and a groundwater model were completed by companies with special expertise in those areas. The design of the project is based on the findings from those background studies and is intended to improve drainage conditions; the environmental analysis found that no negative impacts to stability would result. Therefore, these findings can be made.

Special provisions, in the form of mitigation measures have been included as part of the project in order to reduce impacts to the environment and the community. These include dust and erosion control measures, limits on construction noise and timing, traffic control and cultural / historic resource protection. The mitigation measures have been included as conditions of approval for the project.

SLOPE STABILITY:

Slope stability was a major issue and consideration in the design of this project. A slope stability analysis was completed as part of the project development and can be found in Appendix 5 of the MND, and the Geology and Soils section of the MND includes a summary and analysis of geologic issues. Because of the well-draining soils and deep groundwater table underlying Trinidad, a 50-year storm event with the proposed infiltration would not significantly raise the groundwater levels, and the duration of the rise would only be a few hours. Therefore, the slope stability analysis concluded that, while there could be up to a 15% reduction in the factor of safety, because of the short duration, this would not significantly increase the risk of instability. Also as described in the CEQA document, an updated groundwater model was prepared in January 2019,

and it found that Phase 1 of the stormwater project has been performing as expected with no negative impacts.

SEWAGE DISPOSAL:

Another major concern regarding this project is the potential impact to existing septic systems and wastewater disposal from increased infiltration. Septic system loading from wastewater infiltrating into the soil was conservatively estimated and included as part of the groundwater model. The hydro-geologic firm that reviewed the groundwater model also included a consideration of septic systems. Because the project will not result in overall increased groundwater levels, it will not affect the ability of septic systems to function in general. However, there could potentially be negative interactions between specific project components and individual systems if they are too close to each other. Impacts could include capture of raw effluent by the infiltrators or a reduction in infiltration capacity of a leachfield in saturated conditions during a large storm event. DEH staff was consulted in the final design and location of the infiltration features. A couple of the features were moved or removed at the request of DEH. They have no issues with the current proposal.

The January 2019 groundwater model update that was done by GHD looked in detail at potential interactions between increased infiltration, groundwater levels, and septic systems. The CEQA document includes a summary and analysis of the project's anticipated interactions with and impacts on septic systems, and the impacts were found to be less than significant.

LANDSCAPING AND FENCING:

No major vegetation removal will occur. The project specifications require the contractor to replant any disturbed vegetation after the work is completed, but because almost all the work occurs within already disturbed and paved or graveled areas, any vegetation disturbance would be incidental and minor.

CULTURAL RESOURCES

Potential impacts to cultural resources have been significant concern with this project due to the amount of soil disturbance that will be required. As described in the CEQA document, the City consulted with the tribal entities early on in this process. A Cultural Monitoring Plan and NAGPRA (Native American Graves Protection and Repatriation Act) Plan of Action (or inadvertent discovery protocol) was prepared in consultation with interested tribal groups. The draft plan is attached to this staff report.

DESIGN REVIEW / VIEW PROTECTION FINDINGS:

Because the project does not include above-ground features or topographical changes of more than a couple of feet Design Review and View Preservation Findings are not required for the project.

PLANNING COMMISSION ALTERNATIVES

If the Planning Commission does not agree with staff's analysis, or if information is presented during the hearing that conflicts with the information contained in the staff report, the Planning Commission has several alternatives.

- A. Alter the proposed conditions of approval to address any specific concerns on the part of the Commission or the public.
- B. Delay action / continue the hearing to obtain further information.
 - In this case, the Planning Commission should specify any additional information required from staff or the applicant and / or suggestions on how to modify the project and / or conditions of approval.
- C. Denial of the project.
 - The Planning Commission should provide a motion that identifies the Finding(s) that can not be made and giving the reasons for the inability to make said Finding(s).

STAFF RECOMENDATION

Based on the above analysis, the proposed project can be found to meet the requirements of the Trinidad Local Coastal Program. Provisions of the Zoning Ordinance and General Plan have been met. If the Planning Commission agrees with staff's analysis the project could be approved with the following motion:

Based on the information submitted in the application included in the staff report and public testimony, I move to adopt the information and findings in this staff report and approve the Coastal Development Permit and Grading Permit for Phase 2 of the City of Trinidad ASBS Stormwater Improvement Project.

CONDITIONS OF APPROVAL

Mitigation Measure 1 – Biological Resource Protection Measures.

1. If construction activities occur during the nesting season (February 1 – August 15), a nesting bird survey shall be conducted prior to removal of woody vegetation.
2. Disturbed areas along the project right-of-way will be re-seeded with native, locally sourced vegetation that is compatible with the local coastal environment.

Mitigation Measure 2 – Cultural Resource Protection Measures

1. A Monitoring Plan / NAGPRA Plan of Action, which sets up a formal agreement between stakeholders regarding the plan for items discovered and excavated dirt removed during project construction, has been drafted with input from the NAHC, Yurok Tribe, Trinidad Rancheria, and the Tsurai Ancestral Society. This Plan, which may be amended with consent from the interested parties, will be included as part of the construction contract for the work.
2. Any grading or earthwork activities within the project area shall be monitored by tribally appointed monitor(s).
3. Cultural resource monitors shall be empowered to halt heavy equipment operations in the event that significant cultural features or human remains are uncovered. Construction activities in the immediate vicinity will be delayed until an archaeologist, qualified to the Secretary of Interior Standards, has assessed the significance of the find.
4. The cultural resource monitor(s) shall be kept informed by the contractor of the ground disturbance schedule. Field notes shall be kept by the monitor(s) and a brief letter report of the monitoring effort filed with the Northwest Information Center.

Mitigation Measure 3: Erosion Control. An erosion control plan will be included as part of the Grading Permit application. At a minimum the following erosion control actions shall be included in the plan and implemented by the construction contractor to prevent soil erosion and sedimentation during construction. Erosion and sediment control actions will be in effect and maintained by the contractor on a year-round basis until all disturbed areas are stabilized.

- At all times during construction activities, the contractor shall minimize the area disturbed by excavation, grading, or earth moving to prevent the release of excessive fugitive dust. During periods of high winds (i.e. wind speed sufficient that fugitive dust leaves the site) contractor shall cover or treat areas of exposed soil and active portions of the construction site to prevent fugitive dust.
- No construction materials, equipment, debris, or waste shall be placed or stored where it may be subject to wind, or rain erosion and dispersion. Material handling on and offsite shall be required to comply with California Vehicle Code Sec. 23114 with regard to covering loads to prevent materials spills onto public roads.
- All construction equipment shall be equipped and maintained to meet applicable EPA and CARB emission requirements for the duration of construction activities.
- Throughout construction, contractor shall maintain adjacent paved areas free of visible soil, sand or other debris.
- If stockpiled on or offsite, or if rain is expected, soil and aggregate materials shall be covered with secured plastic sheeting and runoff shall be diverted around them.

- Drainage courses, creeks, or catch basins shall be protected with straw bales, silt fences, and/or straw wattles.
- Storm drain inlets shall be protected from sediment-laden runoff with sand bag barriers, filter fabric fences, straw wattles, block and gravel filters, and excavated drop inlet sediment traps.
- Vehicle and equipment parking and vehicle maintenance shall be conducted in designated areas away from creeks or storm drain inlets.
- Major maintenance, repair, and washing of vehicles and other equipment shall be conducted offsite or in a designated and controlled area.
- Construction debris, plant and organic material, trash, and hazardous materials shall be collected and properly disposed.
- Any areas of bare soil disturbed during construction that are not paved will be re-seeded or planted with native vegetation or a locally appropriate seed mix.

Mitigation 4 – Construction Dewatering Protocol: Excavation and below grade work will be scheduled during summer/fall to coincide with the period of the lowest groundwater levels at the site and the timeframe with the least chance for rainfall. If groundwater is encountered, the contractor, in coordination with the City will evaluate options for dewatering management. If dewatering is necessary, one or more of the following management options shall be used by the construction contractor to protect water quality:

- Reuse the water on-site for dust control, compaction, or irrigation, as appropriate.
- Retain the water on-site in a grassy or porous area to allow infiltration/evaporation.
- Discharge (by permit) to a sanitary sewer or storm drain (this option may require a temporary method to filter sediment-laden water prior to discharge). If discharge to a storm drain (i.e., surface waters) is the only feasible option, the project will comply with Water Board requirements for construction dewatering. Actions may include characterizing the discharge and receiving waters and developing a BMP Plan including filtering methods, monitoring and reporting requirements, and a description of the pump systems proposed to remove groundwater and maintain a dry work area.

Mitigation Measure 5 – Noise Reduction Actions: During project construction, the following actions will be incorporated into the project to reduce daytime noise impacts to the maximum feasible extent:

- A preconstruction meeting (or conference call) will be held among the City of Trinidad, construction manager, and the general contractor to confirm that the following noise reduction practices are to be implemented in the appropriate phase of construction.

- Hours of construction will typically be limited 7:00 a.m. to 6:00 p.m. Monday through Friday, unless other hours are specified by the City Engineer. No construction would occur on weekends except with permission from the City as needed to keep the project on schedule.
- Semi-stationary equipment (e.g., generators, compressors, etc.) will be located as far as possible from residences.
- Quietest available equipment and electrically-powered equipment will be used, rather than internal combustion engines where feasible.
- Equipment and on-site trucks used for project construction will be equipped with properly functioning noise control devices such as mufflers, shields, and shrouds. All construction equipment will be inspected by construction personnel at periodic intervals to ensure proper maintenance and resulting lower noise levels.
- Impact tools (e.g., jack hammers, pavement breakers, rock drills) used for project construction will be hydraulically or electrically powered wherever possible to avoid noise associated with compressed-air exhaust from pneumatically powered tools.

Mitigation Measure 6: Traffic Control Plan: In coordination with the City of Trinidad, the construction contractor shall develop an approved traffic control plan prior to the commencement of construction. Elements of this plan shall be implemented as necessary and appropriate for construction. The plan shall include, but not be limited to:

- Adherence to City and Caltrans traffic management standards.
- Location(s) of designated project construction staging area(s) for equipment/materials storage and construction worker parking.
- Temporary replacement parking for residents during the construction period, if needed.
- Detour routes will be used in order to maintain access throughout the City and to the coastline during project construction.
- Use of flagging and signage during construction of the retaining wall improvements, materials delivery, and/or movement of construction equipment in any private or public roadway.
- Provisions to maintain unobstructed access for law enforcement, fire department, or other official or emergency personnel and vehicles.

ATTACHMENTS

- Cultural Resource Monitoring Plan with NAGPRA Plan of Action (5 pages)
- Project Plans (twelve 11x17 pages)

Cultural Resource Monitoring Plan with NAGPRA Plan of Action

Project: *Trinidad ASBS Stormwater Management Improvement Project – Phase 2*

Project Construction Time Frame: June 2020 – November 2020

Project Description:

The City will decommission the existing stormwater outfall and replace it with a system of localized stormwater treatment chambers and infiltration basins to reduce polluted stormwater discharge into the Trinidad Bay (Trinidad Head Area of Special Biological Significance). Construction of storm water treatment facilities in the City of Trinidad, located on Underwood Drive, Edwards Street, the western portion of Van Wycke Street, Ewing Street, Lighthouse Road and in a portion of the harbor/beach parking area.

Cultural Monitoring Scope of Work:

1. Any grading or earthwork activities within the project area shall be monitored by tribally appointed monitor(s). Any grading or earthwork activities within the project area shall be monitored by tribally appointed monitor(s).
2. The Cultural resource monitor(s) must be kept informed by the contractor and understand the ground disturbance schedule.
3. In the event that significant cultural features or human remains are uncovered, cultural resource monitors are empowered to halt heavy equipment operations. Construction activities in the immediate vicinity would be delayed until an archaeologist, qualified to the Secretary of Interior Standards, has assessed the significance of the find. Field notes should be kept by the monitor(s)/archaeologist and a letter report of the monitoring effort filed with the Northwest Information Center with a non-confidential summary to the City of Trinidad.
4. The contractor is advised that if any archaeological findings are discovered during the construction that the monitor or archaeologist has the authority to slow or stop construction activities as they deem necessary.

Confidentiality:

The finding of any cultural items is subject to strict confidentiality by all site monitors, staff, tribal representatives, contractors, sub-contractors and any other personnel involved in the project. It is the responsibility of the cultural monitor to notify all personnel working on the Project of the confidentiality requirement.

Part 1. Protocol for Inadvertent Discovery of Cultural Resources

Traditional Yurok Law requires reburial of cultural items, and known funerary items as soon as possible. The Yurok Tribal Government, the Trinidad Rancheria Tribal Government and Tsurai Ancestral Society shall make every attempt to immediately rebury these items upon notification. In instances where it is believed that a violation of tribal law, federal/state law have been committed, the tribal government or another law enforcement agency shall investigate and determine if prosecution is warranted, and seek retribution for the crime(s) committed against Yurok ancestors and sacred sites.

Step 1. Upon discovery of cultural resources including human remains, associated and/or unassociated funerary items, the individual or representative of an organization or governmental agency shall immediately stop ground-disturbing activities in the immediate area of the discovery.

Step 2. A reasonable protective barrier (marked by flagging tape) must be established around the cultural site, within which, ground-disturbing activities are temporarily suspended. Steps must be taken to protect the

**Cultural Resource Monitoring Plan with NAGPRA Plan of Action
Trinidad ASBS Stormwater Management Improvement Project – Phase 2**

discovered item(s) in a respectful and dignified manner. Removal of the unearthed item is not recommended unless it is directly threatened by a destructive force (i.e. heavy equipment).

Step 3. The cultural monitor will immediately report the discovery to the resident engineer who will notify the Yurok Tribal Heritage Preservation Officer (THPO), Trinidad Rancheria THPO and the Tsurai Ancestral Society. In the event that human remains are discovered, the County Coroner will be notified and all applicable state and federal laws must be followed.

Examples of Potentially Significant Finds:

Project implementation may uncover artifacts and other cultural constituents associated with Yurok traditional and contemporary cultural/ceremonial practices. Items that may be uncovered during this project are as follows:

Burials (native and/or non-native) consisting of rock markers, human remains, associated wealth objects (obsidian blades, dentalia, tobacco pipes, clam shell or other shells such as olivella, beads, basket(s) or fragments, redwood board caskets; shell midden, faunal remains, chert and obsidian lithics, food processing utensils; housepit and sweathouse features, and rocks associated with the subterranean house.

Other items that may be uncovered include (historic objects associated with more contemporary activities specific to particular location).

Cultural Resource Monitoring Plan Contacts

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Tsurai Ancestral Society

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Part 2. NAGPRA Plan of Action

The NAGPRA Plan of Action provides more detail about the procedures for treatment and disposition of specific types of cultural items identified by the Native American Graves Protection and Repatriation Act (NAGPRA).

A. Objects Considered as Cultural Items per the Native American Graves Protection and Repatriation Act (NAGPRA).

NAGPRA identifies (four) categories of items relevant to this project. These are human remains, associated and unassociated funerary objects, sacred objects and objects of cultural patrimony. Items not related to these four categories shall be treated with respect and reburied on site or nearest the area discovered.

NAGPRA Cultural Item	Examples of Findings
Human Remains	Human Remains including bone, bone fragments, teeth
Associated or Unassociated Funerary Items	Rock markers, obsidian blades, dentalia, personal jewelry or utility items (mortars and pestles etc.), tobacco pipes, clam shell disk beads, olivella shells, crane legs, glass and ceramic beads, redwood board caskets, juniper seeds, other items in close proximity to intact human remains that are reasonably associated with traditional (Yurok/Wiyot) burial practices.
Sacred Objects	Obsidian blades or fragments, dentalia tobacco pipes, ornamented clam shell disc beads, olivella shells, abalone ornaments, (Yurok/Wiyot) ceremonial items (quivers, white deerskins, wolf blinds, headrolls, headnets, etc.), flat rocks used for house structures.
Objects of Cultural Patrimony	Items found in (Yurok/Wiyot) village setting or ceremonial or cultural area.

B. Treatment of NAGPRA Cultural Items

1. Human Remains and Associated and Unassociated Funerary Items

- 1.1 Findings in this category will trigger an immediate stop of project activities at the find location. If there is more than one activity occurring that is in a culturally sensitive area, all activities shall stop to allow the (contracted) archaeologist and/or cultural monitor(s) to focus on the discovery.
- 1.2 A reasonable equipment exclusion zone for protection will be cordoned off by the cultural monitor or archaeologist and any human remains and funerary objects will be left in place or put back at the point of discovery and covered with soil if possible.
- 1.3 In no case shall human remains or funerary items be cleaned, photographed, analyzed or removed from the site. Final disposition shall involve reburial of the items on site or in a place as near to the discovery point as possible and in a place unlikely to be disturbed in the future.
- 1.4 The cultural monitor will immediately contact the resident engineer who will in turn contact the contracted project archaeologist. The contracted archaeologist shall review the discovery and make a determination of the find. The contracted archaeologist is permitted to review the area to determine whether that discovered items are isolates of an intact burial but shall not excavate or screen any cultural material.

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- 1.5 If the contracted archaeologist determines that the burial is intact and additional ground disturbing activities will adversely impact the burial and expose more burials, the contracted archaeologist shall contact the THPOs and TAS (as well as other stakeholders depending on location) for an emergency meeting to discuss mitigation options and redesign of the disturbed area where the human remains and/or funerary items were discovered.
- 1.6 If the discovered item(s) are human remains and/or funerary items, the County Coroner shall be contacted immediately and the next steps in the notification process shall proceed according to Health and Safety Code Section 7050.5, Public Resources Code Section 5097.98, and Cal. Code Regs. Title 14, Section 15064.5 before reburial can occur. If the Coroner determines the remains are Native American, the Coroner will notify the NAHC. Notification of the Tribe determined to be the Most Likely Descendant (MLD) will be done by the NAHC.
- 1.7 Any notations made by the archaeologist or cultural monitor shall be given to the tribal contacts and considered confidential.

2. Sacred Objects

- 2.1 Findings in this category will trigger an immediate stop of project activities at the find locality.
- 2.2 A reasonable equipment exclusion zone for protection will be cordoned off by the archaeologist and/or cultural monitor and any sacred objects will be left in place or put back at the point of discovery.
- 2.3 The cultural monitor/contracted archaeologist will conduct reasonable exploration in search of additional sacred objects in an effort to ascertain whether the item is an “isolate” or constitutes a “feature”. The cultural monitor/contracted archaeologist will not conduct any archaeological excavation or screening of dirt without approval from the Tribal Councils and TAS elders, and if applicable, state and federal agencies authorized by law to approve such activities.
- 2.4 The cultural monitor will immediately contact the resident engineer who will contact TAS, the THPOs, who will begin consultation with their respective Cultural Resources Advisory Committees (and other identified stakeholders). **If there is agreement between the TAS, Tribes and (other identified stakeholders) prior to the discovery, the reburial of the sacred objects may occur immediately upon discovery with documentation of the discovery after the project is complete.**
- 2.5 Project activity at the find locality can be resumed at the direction of the contracted archaeologist or cultural monitor once the approved disposition plan has been put into effect.
- 2.6 In no case shall sacred objects be cleaned, photographed, analyzed or removed from the site. Final disposition is expected to involve reburial of the items on site in a place as near to the discovery point as possible and in a place unlikely to be disturbed in the future.
- 2.7 The contracted archaeologist or cultural monitor can make notations about the discovery but will submit them to the THPOs and TAS.

3. Objects of Cultural Patrimony

- 3.1 Findings in this category will trigger an immediate stop of project activities at the find locality.
- 3.2 A reasonable equipment exclusion zone for protection will be cordoned off by the archaeologist and/or cultural monitor and any objects of cultural patrimony will be left in place or put back at the point of discovery.
- 3.3 The cultural monitor/contracted archaeologist will conduct reasonable exploration in search of additional objects of cultural patrimony in an effort to ascertain whether the item is an “isolate” or constitutes a “feature”. The cultural monitor/contracted archaeologist will not conduct any archaeological excavation or screening of

**Cultural Resource Monitoring Plan with NAGPRA Plan of Action
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dirt without approval from the TAS, Yurok Tribal Council and Trinidad Rancheria Tribal Councils, and if applicable, state and federal agencies authorized by law to approve such activities.

3.4 The cultural monitor will immediately contact the resident engineer who will contact TAS, the THPOs, who will begin consultation with the Cultural Resources Advisory Committee (and other identified stakeholders). **If there is agreement between the TAS, Tribes and (other identified stakeholders) prior to the discovery, the reburial of the objects may occur immediately upon discovery with documentation of the discovery after the project is complete.**

3.5 Project activity at the find locality can be resumed at the direction of the contracted archaeologist or cultural monitor once the approved disposition plan has been put into effect.

3.6 In no case shall objects of cultural patrimony be cleaned, photographed, analyzed or removed from the site. Final disposition is expected to involve reburial of the items on site in a place as near to the discovery point as possible and in a place unlikely to be disturbed in the future.

3.7 The contracted archaeologist or cultural monitor can make notations about the discovery but will submit them to TAS and the THPOs.

C. Final Disposition of NAGPRA Items

All items discovered will be reburied at the site or near the point of discovery as possible and in a place not expected to be disturbed in the future.

**Cultural Resource Monitoring Plan with NAGPRA Plan of Action
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Project Cultural Resources Mitigation Measures

The following recommendations are designed in accordance with the expressed concerns of the Trinidad area Tribes and are incorporated into the project as mitigation:

1. A Monitoring Plan / NAGPRA Plan of Action shall be put in place prior to permit approval, thereby setting up a formal agreement between stakeholders regarding the plan for items discovered and excavated dirt removed during project construction. The plan will be developed with input from the NAHC, Yurok Tribe, Trinidad Rancheria, and the Tsurai Ancestral Society.
2. Any grading or earthwork activities within the project area shall be monitored by tribally appointed monitor(s).
3. Cultural resource monitors shall be empowered to halt heavy equipment operations in the event that significant cultural features or human remains are uncovered. Construction activities in the immediate vicinity will be delayed until an archaeologist, qualified to the Secretary of Interior Standards, has assessed the significance of the find. An Inadvertent Discovery Protocol, developed in consultation with the Yurok Tribe and Trinidad Rancheria, will be in place prior to construction.
4. The cultural resource monitor(s) shall be kept informed by the contractor of the ground disturbance schedule. Field notes shall be kept by the monitor(s) and a brief letter report of the monitoring effort filed with the Northwest Information Center.

There is a possibility that historic resources, including buried archaeological materials of metal, glass, ceramics, wood or other materials, do exist in the area and may be uncovered during proposed project activities. In the event significant concentrations of historical cultural remains are encountered during project implementation, the protocol for discovery of cultural resources shall be followed and the project archeologist will be contacted to evaluate the finds.

References:

Initial Study and Mitigated Negative Declaration (CEQA)

Environmental Assessment and Finding of No Significant Impact (NEPA and FONSI)

Archaeological Survey Report for the Trinidad Stormwater Project Phase 2 (Arch Report), 2018

CITY OF TRINIDAD

STORM WATER MANAGEMENT IMPROVEMENT PROJECT

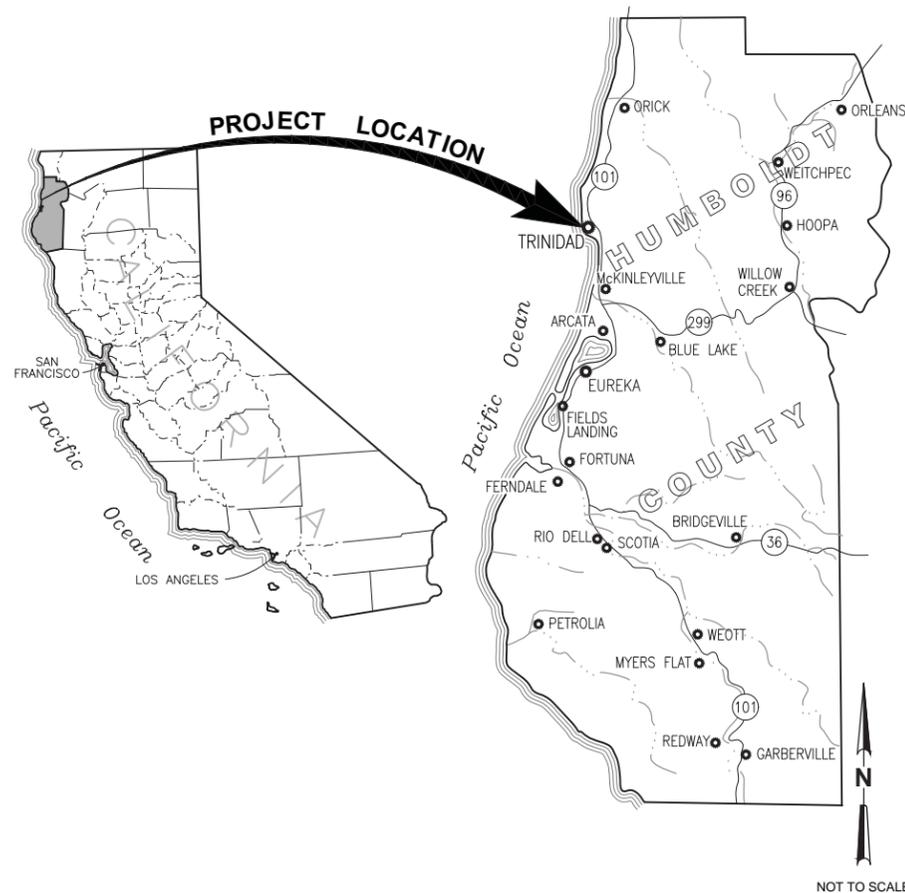
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NOTE:
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AREA MAP



LOCATION MAP



SHEET INDEX

SHEET NO.	DRAWING NO.	DESCRIPTION
1	G-001	COVER SHEET
2	G-002	GENERAL NOTES, SYMBOLS & ABBREVIATIONS
3	G-101	SITE PLAN & SURVEY CONTROL
4	CD101	OUTFALL DEMOLITION AND ABANDONMENT
5	C-101	UNDERWOOD DR, EWING ST, & EDWARDS ST - HORIZONTAL CONTROL PLAN
6	C-102	VAN WYCKE ST TO PARKING LOT - HORIZONTAL CONTROL PLAN
7	C-201	UNDERWOOD DRIVE - PLAN AND PROFILE
8	C-202	EWING & EDWARDS STREET - PLAN AND PROFILE
9	C-203	VAN WYCKE ST TO PARKING LOT - PLAN AND PROFILE
10	C-204	PARKING LOT - PLAN AND PROFILE
11	C-501	DETAILS 1 OF 2
12	C-502	DETAILS 2 OF 2

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Project	STORM WATER MANAGEMENT IMPROVEMENT PROJECT		
Title	COVER SHEET		
Project No.	11188180		
Original Size	ANSI D	Sheet No.	G-001

GENERAL NOTES	
1.	PROJECT REQUIRES A CLASS A GENERAL ENGINEERING CONTRACTOR'S LICENSE IN THE STATE OF CALIFORNIA.
2.	CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE. CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING. SHOULD EXISTING CONDITIONS DIFFER FROM THOSE SHOWN OR INDICATED, OR IF IT APPEARS THAT THESE PLANS, AND SPECIFICATIONS DO NOT ADEQUATELY DETAIL THE WORK TO BE DONE, CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONTINUING WITH ANY RELATED WORK. NO ALLOWANCE WILL BE MADE ON CONTRACTOR'S BEHALF FOR ANY EXTRA EXPENSE RESULTING FROM FAILURE OR NEGLIGENCE IN DETERMINING THE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE.
3.	QUANTITIES OF ITEMS, LENGTH OF PROJECT, AND SITE CONDITIONS SHOWN IN THE PLANS ARE APPROXIMATE. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
4.	CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE CITY, GHD, AND THEIR REPRESENTATIVES HARMLESS FROM ANY AND ALL LIABILITY, REAL AND/OR ALLEGED, IN CONJUNCTION WITH THE PERFORMANCE OF THIS PROJECT.
5.	CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING STRUCTURES, ROADS, AND UTILITIES DURING CONSTRUCTION. ALL DAMAGE SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT THE CONTRACTOR'S EXPENSE.
6.	A SET OF SIGNED WORKING DRAWINGS AND A SET OF SPECIFICATIONS WILL BE KEPT AT ALL TIMES AT THE JOB SITE ON WHICH ALL CHANGES OR VARIATIONS IN THE WORK, INCLUDING ALL EXISTING UTILITIES, ARE TO BE RECORDED AND/OR CORRECTED DAILY AND SUBMITTED TO THE OWNER WHEN THE WORK TO BE DONE IS COMPLETED.
7.	CONTRACTOR SHALL PROVIDE AND MAINTAIN SUFFICIENT TEMPORARY BARRIERS TO PROVIDE FOR THE SAFETY OF THE PUBLIC.
8.	CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 72 HOURS IN ADVANCE OF COMMENCEMENT OF ANY PART OF THE WORK AND SHALL COORDINATE CONSTRUCTION SCHEDULE ACCORDINGLY.
9.	UNSUITABLE EXCAVATED MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A MANNER CONSISTENT WITH APPLICABLE REGULATIONS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY AND EXPENSE FOR PROPER DISPOSAL OF UNSUITABLE MATERIALS TAKEN FROM SITE.
10.	THE DESIGN FEATURES INCLUDING HORIZONTAL AND VERTICAL ALIGNMENTS, TYPICAL SECTIONS, APPROACHES, AND OTHER DESIGN DETAILS SHOWN ON THESE DESIGN PLANS SHALL NOT BE ALTERED OR MODIFIED IN ANY WAY DURING CONSTRUCTION WITHOUT THE EXPRESSED, WRITTEN DIRECTION AND APPROVAL OF THE ENGINEER OR OWNER'S REPRESENTATIVE. DRAINAGE STRUCTURES SHALL BE INSTALLED AS SHOWN ON THE PLANS WITH ONLY MINOR CORRECTIONS IN LOCATION SKEW AND/OR ELEVATIONS AS NEEDED TO FIT FIELD CONDITIONS AS DETERMINED BY THE ENGINEER OR OWNER'S REPRESENTATIVE.
11.	THE CONTRACTOR SHALL READ AND MAKE CAREFUL EXAMINATION OF THE PLANS, SPECIFICATIONS, QUANTITIES AND MATERIAL ESTIMATES AND VISIT THE SITE OF THE PROPOSED CONSTRUCTION TO BECOME FAMILIAR WITH THE SITE CONDITIONS AND LIMITATIONS BEFORE MAKING A BID. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL ERRORS RESULTING FROM THE FAILURE TO MAKE SUCH AN EXAMINATION. ANY INFORMATION DERIVED FROM THE MAPS, PLANS, SPECIFICATIONS, PROFILES, DRAWINGS OR FROM THE ENGINEER WILL NOT RELIEVE THE CONTRACTOR FROM ANY RISK OR FROM FULFILLING THE TERMS OF THE CONTRACT.
12.	NO WORK SHALL BE PERFORMED OUTSIDE OF THE DESIGNATED CONSTRUCTION LIMITS WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
13.	THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ANY PUBLIC STAGING AREAS WITH THE CITY.
14.	UPON COMPLETION OF THE CONSTRUCTION PROJECT, THE CONTRACTOR SHALL LEAVE THE PROJECT AREA FREE OF DEBRIS AND UNUSED MATERIAL. ALL DAMAGE CAUSED BY THE CONTRACTOR SHALL BE RESTORED TO AN "AS GOOD OR BETTER" CONDITION.
15.	THE CONTRACTOR SHALL BE REQUIRED TO SAWCUT OR GRIND THE EXISTING ASPHALT PAVEMENT WHERE OLD ASPHALT IS TO BE TIE INTO THE NEW ASPHALT PAVEMENT. THE CONTRACTOR SHALL BE REQUIRED TO TAPER THE NEW ASPHALT CONCRETE SURFACING TO MATCH THE EXISTING PAVEMENT SECTION AT TIE-IN POINTS AND TO PROVIDE FOR A SMOOTH TRANSITION AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
16.	UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROTECT EXISTING SURVEY MONUMENTS WITHIN AND ADJACENT TO CONSTRUCTION LIMITS. ANY MONUMENT DAMAGED BY THE CONTRACTOR SHALL BE RESET IN ACCORDANCE WITH THE CALIFORNIA PROFESSIONAL LAND SURVEYORS ACT.

GRADING NOTES

1.	CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION, ADEQUATE SHORING, BRACING, TIES, AND SUPPORTS SHALL BE USED TO PROVIDE PROPER TEMPORARY INTEGRITY DURING ALL PHASES OF CONSTRUCTION.
2.	ALL EXISTING LANDSCAPED AND UNPAVED AREAS WHICH ARE DISTURBED BY CONSTRUCTION OR EARTHWORK OPERATIONS SHALL BE RETURNED TO ORIGINAL EXISTING CONDITIONS.
3.	ALL DITCHES, SWALES, GUTTERS, ETC. SHOULD BE CONSIDERED ACTIVE STORM CONVEYANCES UNLESS OTHERWISE INDICATED. CONTRACTOR IS RESPONSIBLE FOR ADDRESSING STORM WATER DRAINAGE AND DEWATERING OF WORK AREAS DURING CONSTRUCTION.
4.	DURING WET WEATHER PERIODS, CONTRACTOR IS RESPONSIBLE FOR SEQUENCING CONSTRUCTION IN A MANNER TO MINIMIZE IMPACT ON OPEN EARTHWORK AND COMPACTION OPERATIONS.

UTILITY NOTES	
1.	LOCATIONS OF EXISTING UTILITIES AND STRUCTURES ARE FROM THE BEST INFORMATION AVAILABLE. EXACT LOCATION AND COMPLETENESS ARE NOT GUARANTEED. CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICES ALERT (800) 227-2600 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION AND POTHOLE FOR EXACT LOCATION. NOTIFY THE ENGINEER IMMEDIATELY IF LOCATE INDICATES THAT EXISTING UTILITIES ARE DIFFERENT THAN SHOWN ON DRAWINGS.
2.	LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM RECORD INTERPOLATION OF PHYSICAL EVIDENCE ON THE SITE AND ARE SUBJECT TO FIELD VERIFICATION BY THE CONTRACTOR.
3.	ALL LOCATIONS FOR WORK SHALL BE CHECKED AND COORDINATED WITH EXISTING CONDITIONS IN THE FIELD BEFORE BEGINNING CONSTRUCTION UNDER THIS SECTION OR ANY OTHER SECTION.
4.	CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES, FEATURES, AND STRUCTURES LOCATED ON THE SITE. LOCATE, PROTECT, AND AVOID DISRUPTION OF ALL ABOVE AND BELOW GRADE UTILITIES DURING CONSTRUCTION.
5.	CONSTRUCTION ACTIVITY WILL TAKE PLACE IN THE VICINITY OF UNDERGROUND ELECTRIC TRANSMISSION LINES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF, AND OBSERVE, THE MINIMUM CLEARANCES FOR WORKERS AND EQUIPMENT OPERATING NEAR HIGH VOLTAGE ELECTRIC LINES AS SET OUT IN THE HIGH VOLTAGE SAFETY ORDERS OF THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY AS WELL AS OTHER APPLICABLE SAFETY REGULATIONS.

TRAFFIC CONTROL	
1.	TEMPORARY LANE CLOSURE TRAFFIC CONTROL TO BE CONSISTENT W/ LANE CLOSURE FOR LOW VOLUME, TWO-LANE ROADS PER CALTRANS MANUAL OF TRAFFIC CONTROLS - CURRENT EDITION.
2.	CONTRACTOR TO COORDINATE TRAFFIC CONTROL WITH THE OWNER AND PROVIDE 48 HOURS NOTIFICATION PRIOR TO LANE CLOSURE.
3.	CONTRACTOR SHALL PROVIDE TEMPORARY PEDESTRIAN ACCESS DURING CONSTRUCTION AND SHALL COMPLY WITH SECTION 7-1.08 AND 7-1.09 OF THE CALTRANS STANDARD SPECIFICATIONS.
4.	MAINTAIN ACCESS TO ADJACENT RESIDENCES AS MUCH AS PRACTICAL.
5.	CONTRACTOR SHALL PROVIDE AND MAINTAIN SUFFICIENT TEMPORARY BARRIERS TO PROVIDE FOR THE SAFETY OF THE STAFF AND PUBLIC TO THE SATISFACTION OF THE ENGINEER.
6.	PROVIDE EMERGENCY VEHICLE INGRESS/EGRESS ACCESS AS NEEDED AT ALL TIMES.

CIVIL SYMBOLS

GENERAL:	
	DETAIL OR SECTION DESIGNATION SHEET WHERE DETAIL OR SECTION OCCURS
TOPOGRAPHIC:	
	TEMPORARY BENCH MARK
	FOUND MONUMENT
	MINOR CONTOUR LINE
	MAJOR CONTOUR LINE
	(E) EDGE OF PAVEMENT
	(N) EDGE OF PAVEMENT
	(E) CONC SLAB OR SIDEWALK
	(E) DRIVEWAY
	(E) FENCE
	(E) PROPERTY LINE / RIGHT OF WAY
	(E) EDGE OF GRAVEL ROAD
	APPROXIMATE LIMITS OF CONSTRUCTION
	DRAINAGE FLOW DIRECTION
	(E) TREE
UTILITIES:	
	(E) SIGN
	(E) OVERHEAD ELECTRICAL
	(E) UNDERGROUND ELECTRICAL
	(E) UNDERGROUND TELEPHONE
	(E) UNDERGROUND TELECOM (CATV)
	(E) UNDERGROUND FIBER OPTIC
	(E) DOMESTIC WATER
	(E) STORM DRAIN / CULVERT
	(N) STORM DRAIN / CULVERT
	(N) STORM DRAIN INLET
	(N) STORM DRAIN CLEANOUT
	(N) STORM DRAIN MANHOLE
	(E) GROUNDWATER MONITORING WELL
	(E) FIRE HYDRANT
	(E) WATER VALVE
	(E) WATER METER BOX
	RELOCATED WATER METER BOX

ABBREVIATIONS			
AB	AGGREGATE BASE	FG	FINISH GRADE
AC	ASPHALT CONCRETE	FIN	FINISH
AGG	AGGREGATE	FL, FL	FLOW LINE
@	AT	FS	FINISHED SURFACE
BC	BEGIN CURVE	FT	FOOT OR FEET
BCR	BEGIN CURVE RADIUS	FTG	FOOTING
BFP	BACKFLOW PREVENTER	G	GUTTER OR GAS
BM	BENCH MARK	GALV	GALVANIZED
BO	BLOW OFF	GR	GRADE
BOT	BOTTOM	GB	GRADE BREAK
BVC	BEGIN VERTICAL CURVE	GRD	GROUND
CB	CATCH BASIN	HDPE	HIGH-DENSITY POLYETHYLENE
CBC	CALIFORNIA BUILDING CODE	HORZ	HORIZONTAL
CL, CL	CENTERLINE	HWY	HIGHWAY
CLR	CLEAR, CLEARANCE	IP	IRON PIPE
CMP	CORRUGATED METAL PIPE	INV	INVERT
CO	CLEANOUT	JCT	JUNCTION
CONC	CONCRETE	L	LENGTH
CONT	CONTINUOUS	LP	LOW POINT
CONTD	CONTINUED	LT	LEFT
COORD	COORDINATE		
COR	CONTRACTING OFFICER'S REPRESENTATIVE		
COR	CORNER	MAX	MAXIMUM
CPP	CORRUGATED PLASTIC PIPE	MH	MANHOLE
CU	CUBIC	MIN	MINIMUM
		MISC	MISCELLANEOUS
		MON	MONUMENT
D	DEPTH		
DIA, Ø	DIAMETER	(N)	NEW
DTL	DETAIL	N	NORTH
DI	DRAINAGE INLET	NE	NORTH-EAST
DWG	DRAWING	NIC	NOT IN CONTRACT
		NO	NUMBER
E	EAST	NTS	NOT TO SCALE
EA	EACH	NW	NORTH-WEST
EC	END CURVE		
EF	EACH FACE	OC	ON CENTERS
EL, ELEV	ELEVATION	OPNG	OPENING
ENGR	ENGINEER		
EP	EDGE PAVING	PC	POINT OF CURVATURE
EQ	EQUAL	PCC	PORTLAND CEMENT CONCRETE
ER	EDGE ROAD	PE	POLYETHYLENE
ET	EMERGENCY TELEPHONE	PI	POINT OF INTERSECTION
EVC	END VERTICAL CURVE	PL	PLATE
EW	EACH WAY	P/L, PL	PROPERTY LINE
EX, (E)	EXISTING	PLCS	PLACES
		PLWD	PLYWOOD
		POC	POINT OF CONNECTION
		PP	POWER POLE
		PT	POINT OF TANGENT
		PT	PRESSURE TREATED
		R, RAD	RADIUS
		RC	RELATIVE COMPACTION
		RCP	REINFORCED CONCRETE PIPE
		RD	ROAD
		REQ'D	REQUIRED
		REQ'T	REQUIREMENT
		ROW	RIGHT OF WAY
		RSP	ROCK SLOPE PROTECTION
		RT	RIGHT
		RWL	RAIN WATER LEADER
		R/W	RIGHT-OF-WAY
		S	SLOPE OR SOUTH
		SCH, SCHED	SCHEDULE
		SD	STORM DRAIN
		SDCB	STORM DRAIN CATCH BASIN
		SE	SOUTH-EAST
		SHT	SHEET
		SIM	SIMILAR
		SS	SANITARY SEWER
		S STL	STAINLESS STEEL
		STA	STATION
		STD	STANDARD
		STL	STEEL
		SW	SOUTH-WEST
		TBM	TEMPORARY BENCH MARK
		TC	TOP OF CURB
		THK	THICK
		TG	TOP GRATE
		TS	TOP OF SLAB
		TW	TOP OF WALL
		Typ	TYPICAL
		UNO	UNLESS NOTED OTHERWISE
		VERT	VERTICAL
		W/	WITH
		W	WIDE, WIDTH OR WEST
		WTR	WATER
		XING	CROSSING
		YD	YARD

NOTE: CONTACT ENGINEER FOR ABBREVIATIONS NOT LISTED.

NOTE: CONTACT ENGINEER FOR SYMBOLS NOT SHOWN.

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Project	STORM WATER MANAGEMENT IMPROVEMENT PROJECT		
Title	GENERAL NOTES, SYMBOLS & ABBREVIATIONS		
Project No.	11188180		
Original Size	ANSI D	Sheet No.	G-002
			Sheet 2 of 12



POINT TABLE - SURVEY CONTROL				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	2276475.58	5970457.70	172.86	cp1
2	2276493.60	5970083.06	173.65	cp2
3	2276707.43	5969961.07	167.55	cp3
4	2276126.99	5969525.16	90.90	cp4
5	2275834.97	5969394.17	61.80	cp5
6	2276326.95	5969528.08	103.88	cp6
50	2276094.69	5970438.20	146.63	st mon
51	2276473.09	5970359.33	172.66	st mon
52	2276476.56	5970175.33	170.91	fd st mon
53	2276763.59	5969959.83	166.29	mon 53
54	2276123.74	5969655.36	100.23	fd st mon
55	2276125.61	5969648.29	100.22	fd nail
56	2276129.70	5969518.04	89.49	fd st mon
912	2276021.58	5969466.00	76.45	mon lid
1239	2275808.17	5969658.48	74.14	mon

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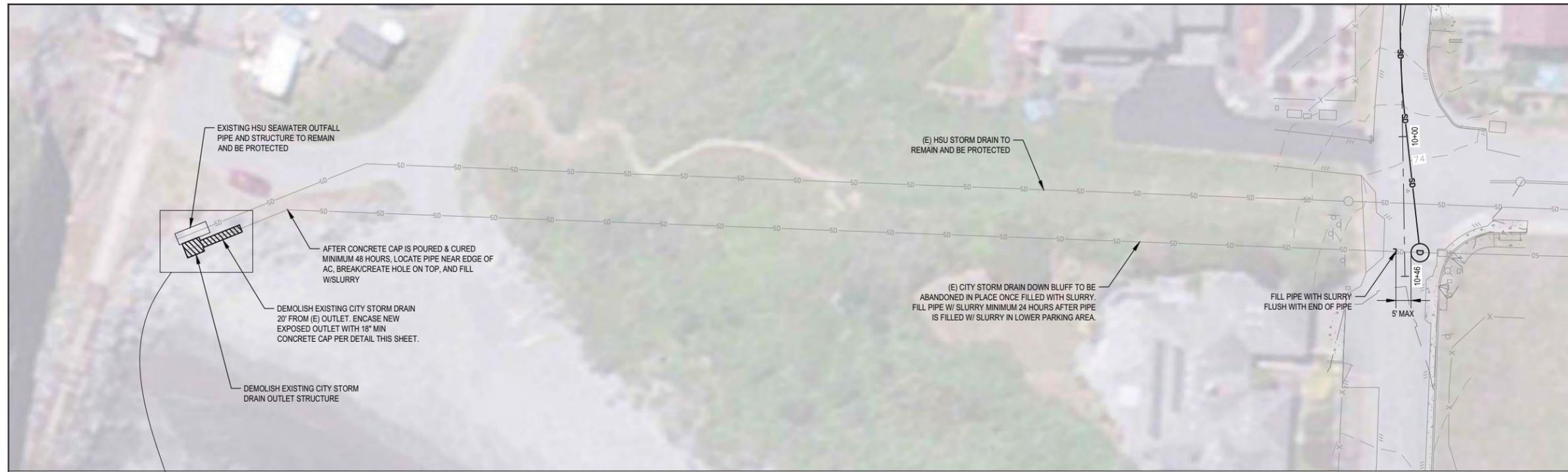
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Title	SITE PLAN & SURVEY CONTROL		
Project No.	11188180		
Original Size	ANSI D		
Sheet No.	G-101		
		Sheet	3 of 12

SHEET GENERAL NOTES

1. LOCATION OF EXISTING UTILITIES AND STRUCTURES ARE FROM INFORMATION AVAILABLE. EXACT LOCATION AND COMPLETENESS ARE NOT GUARANTEED. CONTRACTOR TO POTHOLE FOR EXACT LOCATION. CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICES ALERT (800) 227-2600 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.
2. CONTRACTOR TO MONITOR WEATHER AND TIDE FORECASTS TO COMPLETE DEMOLITION OF OUTLET STRUCTURE AND PIPE DURING LOW TIDES AND NO PRECIPITATION.
3. CONTRACTOR TO DEMOLISH AND REMOVE OUTLET AS SHOWN ON PLANS AND REGRADE AND REPLACE EXISTING RSP TO EXISTING GRADE IN SAME DAY.



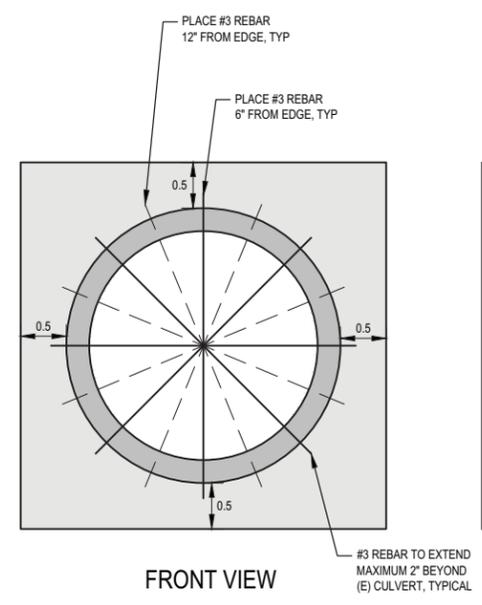
ASBS OUTFALL DEMO PLAN

0 10' 20' 40'

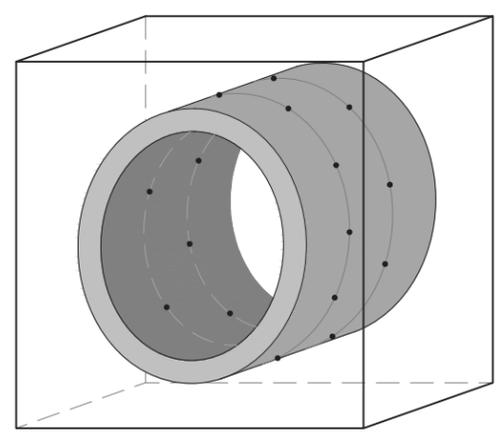


EXISTING HSU SEAWATER OUTFALL TO REMAIN AND BE PROTECTED

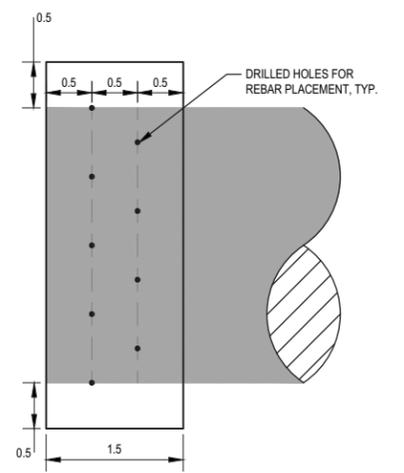
DEMOLISH EXISTING CITY OUTFALL STORM DRAIN PIPE AND CONCRETE OUTLET BOX. REPLACE EXISTING SAND, RIPRAP, AND OTHER MATERIALS ONCE PIPE IS REMOVED TO MATCH EXISTING GRADES AS PRACTICAL.



FRONT VIEW



ISOMETRIC VIEW WITHOUT REBAR

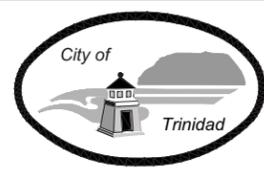


SIDE VIEW

OUTFALL PIPE CONCRETE CAP DETAIL

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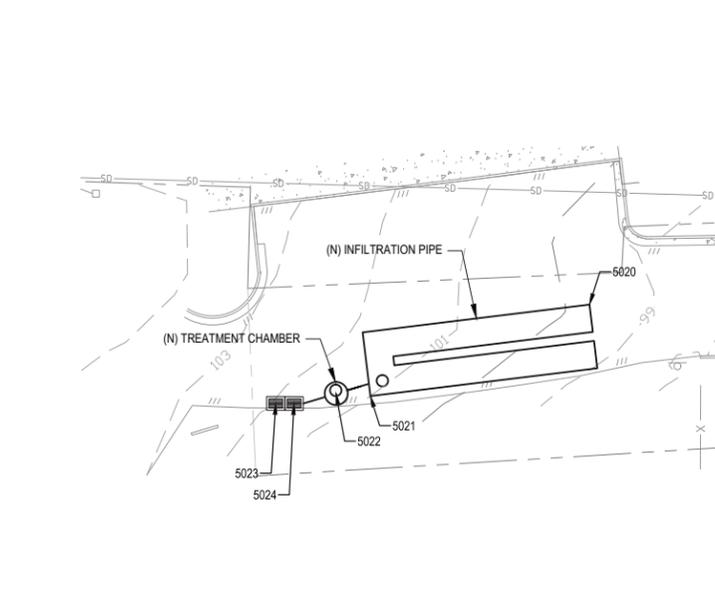
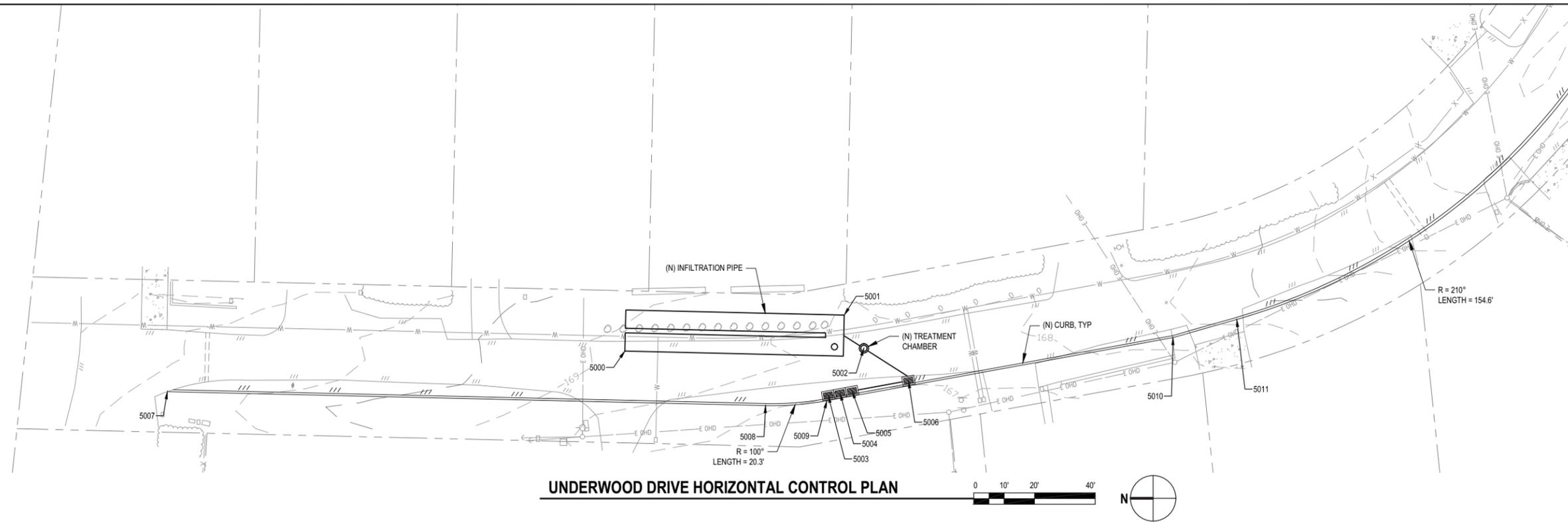
Client	CITY OF TRINIDAD		
Project	STORM WATER MANAGEMENT IMPROVEMENT PROJECT		
Title	OUTFALL DEMOLITION AND ABANDONMENT		
Project No.	11188180		
Original Size	ANSI D		
Sheet No.	CD101		

SHEET GENERAL NOTES

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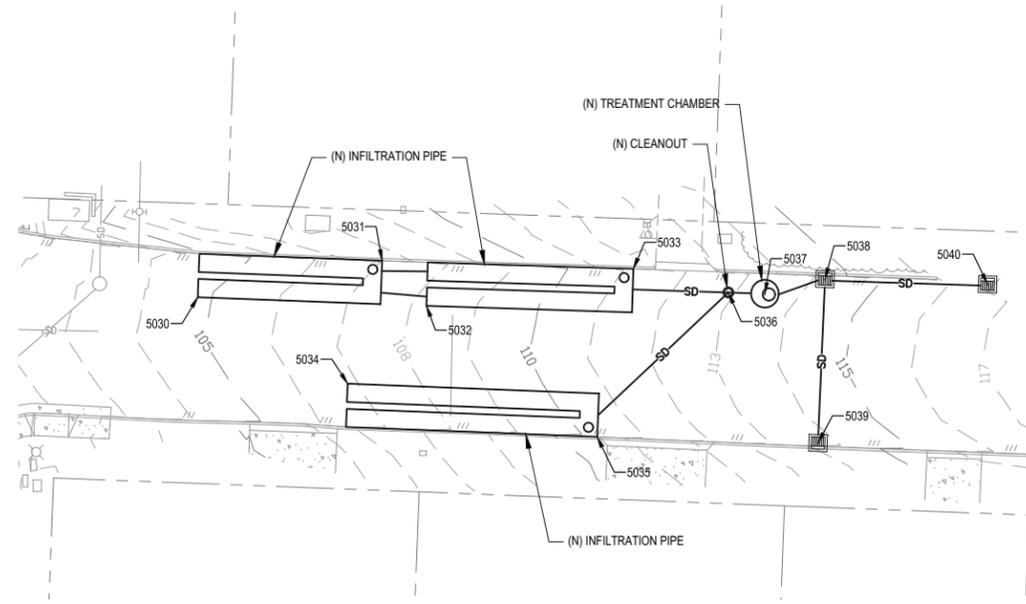
POINT TABLE - UNDERWOOD DRIVE				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
5000	2276819.30	5969966.43	162.90	CORNER INFILT PIPE TOP
5001	2276747.01	5969978.26	162.90	CORNER INFILT PIPE TOP
5002	2276740.55	5969967.31	167.90	CHAMBER CENTER TOP
5003	2276752.30	5969951.88	167.15	SDCB GRATE TOP AT FL*
5004	2276748.37	5969952.60	167.15	SDCB GRATE TOP AT FL*
5005	2276744.43	5969953.31	167.15	SDCB GRATE TOP AT FL*
5006	2276725.85	5969956.69	167.10	SDCB GRATE TOP AT FL*
5008	2276772.93	5969948.52	167.43	BACK CURB TOP
5009	2276752.73	5969950.11	167.19	BACK CURB TOP
5010	2276638.63	5969970.85	168.74	BACK CURB TOP
5011	2276617.66	5969976.82	169.49	BACK CURB TOP
5012	2276496.93	5970067.75	173.72	BACK CURB TOP

* ELEVATIONS LISTED FOR SDCB TOPS ARE APPROXIMATE. SDCBS SHALL BE INSTALLED SUCH THAT FLOW LINES OF (N) SDCBS ARE LOWER THAN ADJACENT GUTTERS.



POINT TABLE - EWING STREET				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
5020	2276244.58	5969526.23	95.95	CORNER INFILT PIPE TOP
5021	2276292.51	5969506.27	95.95	CORNER INFILT PIPE TOP
5022	2276300.02	5969506.78	101.40	CHAMBER CENTER TOP
5023	2276313.21	5969504.67	101.80	SDCB GRATE TOP AT FL*
5024	2276309.21	5969504.65	101.80	SDCB GRATE TOP AT FL*

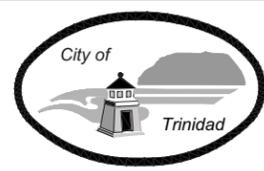
* ELEVATIONS LISTED FOR SDCB TOPS ARE APPROXIMATE. SDCBS SHALL BE INSTALLED SUCH THAT FLOW LINES OF (N) SDCBS ARE LOWER THAN ADJACENT GUTTERS.



POINT TABLE - EDWARDS STREET				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
5030	2276128.98	5969715.83	101.42	CORNER INFILT PIPE TOP
5031	2276136.95	5969756.16	101.42	CORNER INFILT PIPE TOP
5032	2276127.11	5969765.85	104.82	CORNER INFILT PIPE TOP
5033	2276135.17	5969811.13	104.82	CORNER INFILT PIPE TOP
5034	2276110.12	5969748.63	103.80	CORNER INFILT PIPE TOP
5035	2276098.50	5969803.22	103.80	CORNER INFILT PIPE TOP
5036	2276130.00	5969831.89	112.90	CLEANOUT CENTER TOP
5037	2276129.75	5969839.88	113.50	CHAMBER CENTER TOP
5038	2276132.94	5969853.03	114.20	SDCB GRATE TOP AT FL*
5039	2276097.16	5969851.50	113.70	SDCB GRATE TOP AT FL*
5040	2276131.81	5969888.58	116.91	SDCB GRATE TOP AT FL*

* ELEVATIONS LISTED FOR SDCB TOPS ARE APPROXIMATE. SDCBS SHALL BE INSTALLED SUCH THAT FLOW LINES OF (N) SDCBS ARE LOWER THAN ADJACENT GUTTERS.

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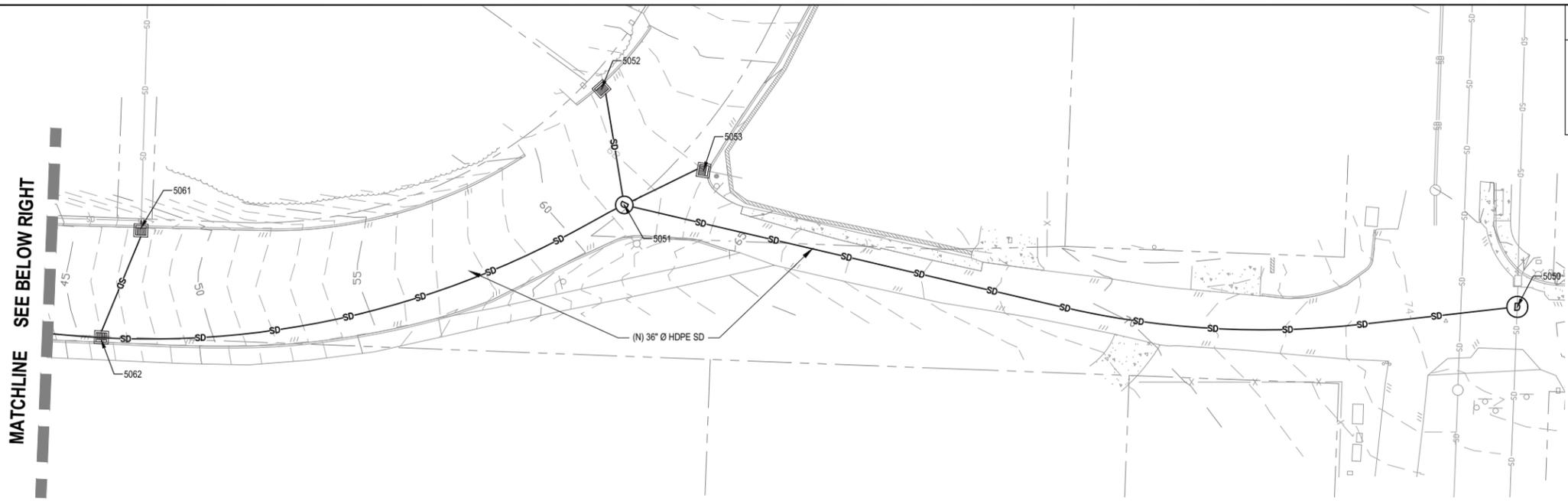
Client	CITY OF TRINIDAD
Project	STORM WATER MANAGEMENT IMPROVEMENT PROJECT
Title	UNDERWOOD DR, EWING ST, & EDWARDS ST - HORIZONTAL CONTROL PLAN
Project No.	11188180
Original Size	ANSI D
Sheet No.	C-101
Sheet	5 of 12

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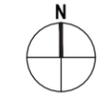
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MATCHLINE SEE BELOW RIGHT



VAN WYCKE ST & EDWARDS ST HORIZONTAL CONTROL PLAN

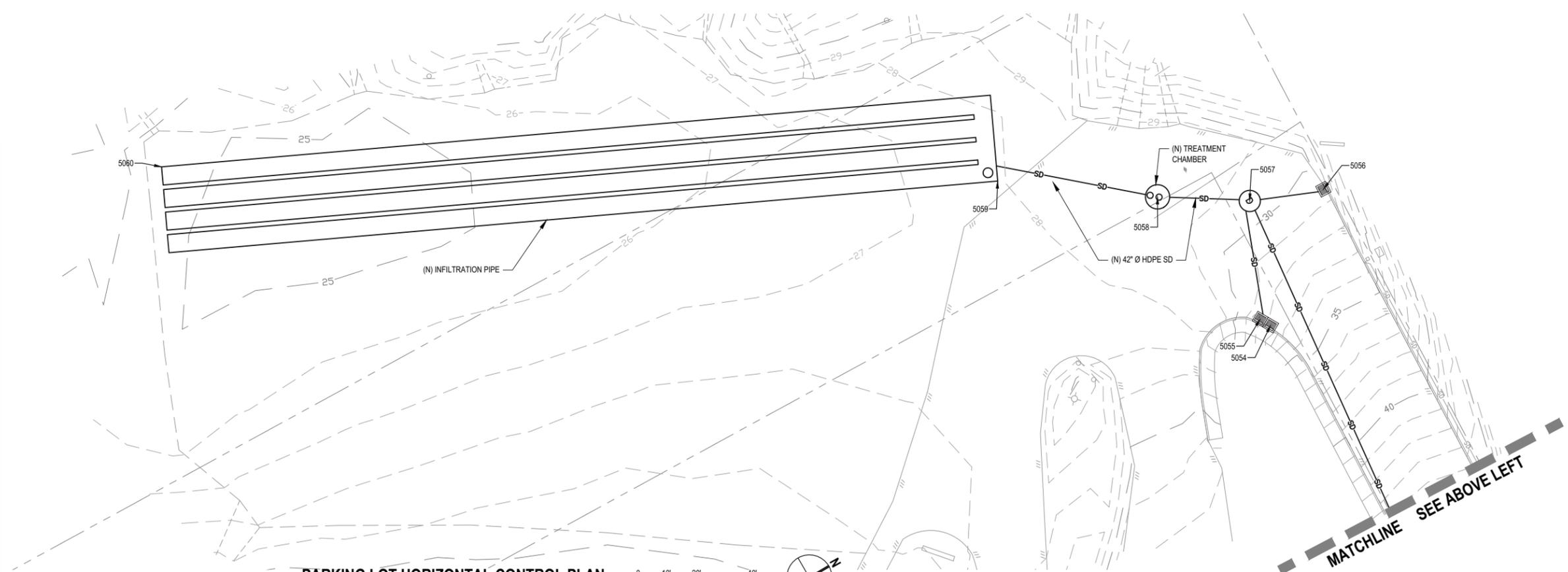


POINT TABLE - VAN WYCKE TO PARKING LOT

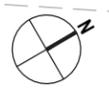
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
5050	2275837.81	5969664.73	74.70	MANHOLE CENTER TOP
5051	2275866.89	5969409.15	61.30	MANHOLE CENTER TOP
5052	2275899.99	5969402.65	62.40	SDCB GRATE TOP AT FL*
5053	2275876.78	5969431.85	63.00	SDCB GRATE TOP AT FL*
5054	2275826.57	5969170.69	31.90	SDCB GRATE TOP AT FL*
5055	2275824.59	5969167.21	31.90	SDCB GRATE TOP AT FL*
5056	2275864.21	5969140.48	30.60	SDCB GRATE TOP AT FL*
5057	2275841.10	5969131.64	29.49	MANHOLE CENTER TOP
5058	2275815.28	5969115.16	28.70	CHAMBER CENTER TOP
5059	2275771.99	5969084.11	22.48	CORNER INFILT PIPE TOP
5060	2275534.07	5968941.35	22.48	CORNER INFILT PIPE TOP
5061	2275860.29	5969270.85	47.86	SDCB GRATE TOP AT FL*
5062	2275828.44	5969239.48	45.91	SDCB GRATE TOP AT FL*

* ELEVATIONS LISTED FOR SDCB TOPS ARE APPROXIMATE. SDCBS SHALL BE INSTALLED SUCH THAT FLOW LINES OF (N) SDCBS ARE LOWER THAN ADJACENT GUTTERS.

MATCHLINE SEE ABOVE LEFT

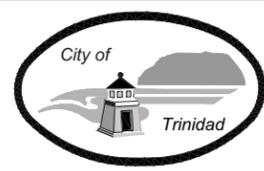


PARKING LOT HORIZONTAL CONTROL PLAN



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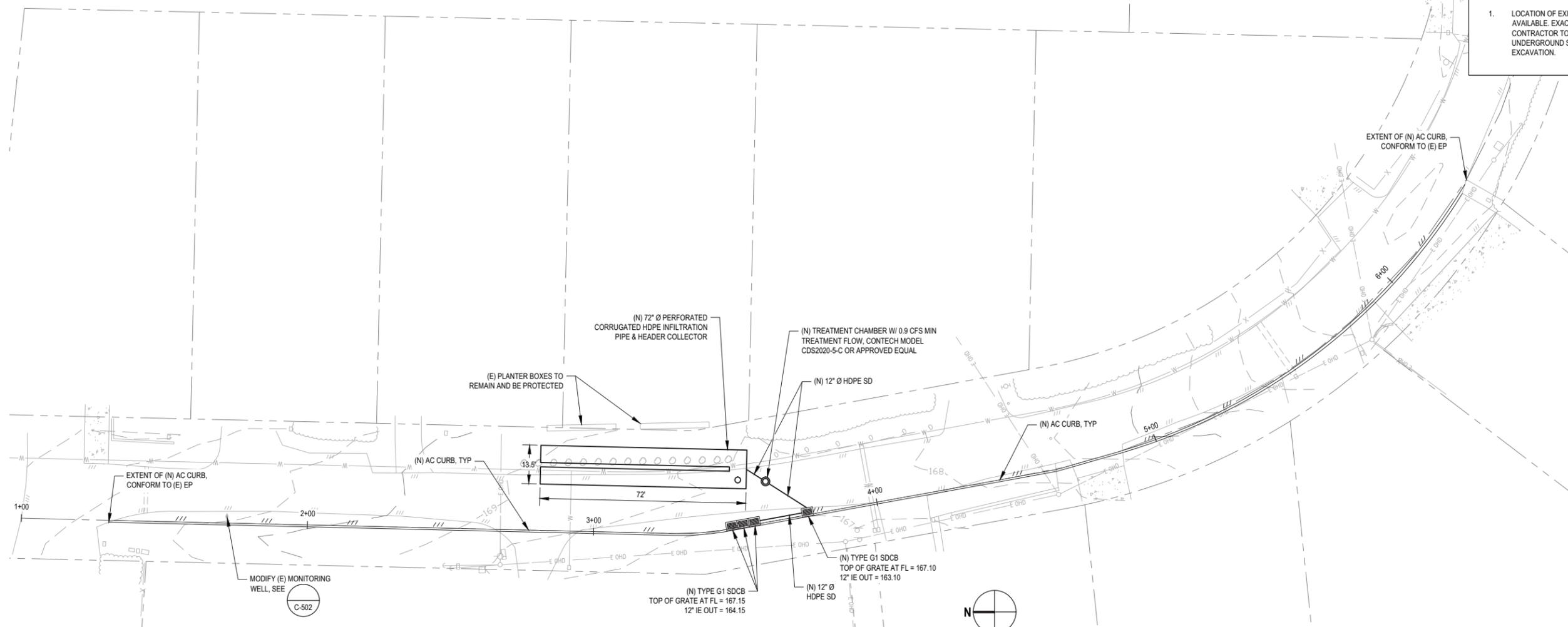
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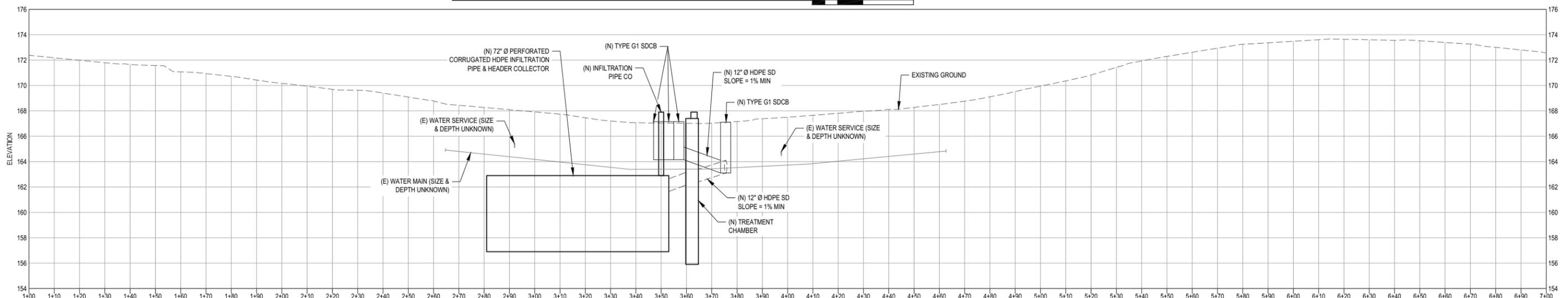
Client	CITY OF TRINIDAD		
Project	STORM WATER MANAGEMENT IMPROVEMENT PROJECT		
Title	VAN WYCKE ST TO PARKING LOT - HORIZONTAL CONTROL PLAN		
Project No.	11188180		
Original Size	ANSI D	Sheet No.	C-102
		Sheet	6 of 12

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NORTH UNDERWOOD DRIVE IMPROVEMENTS - PLAN VIEW



NORTH UNDERWOOD DRIVE IMPROVEMENTS - PROFILE VIEW

NOTE:
THIS PROFILE WAS DRAWN AT A FIVE TO ONE VERTICAL EXAGGERATION TO BETTER ILLUSTRATE EXISTING GROUND TOPOGRAPHY, AND VERTICAL LOCATION AND SLOPE OF PROPOSED IMPROVEMENTS.

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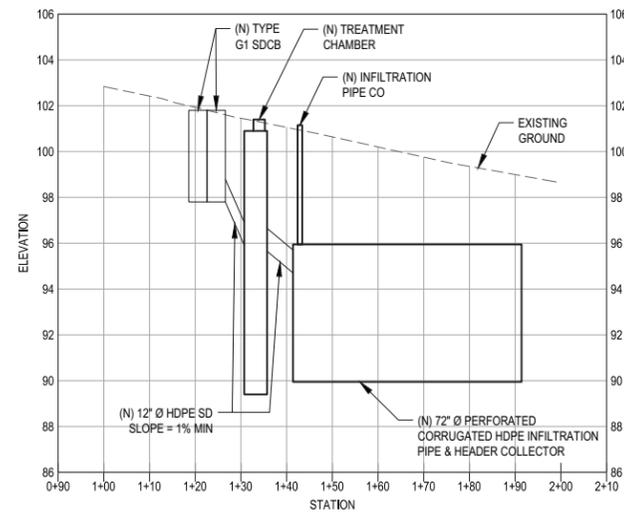
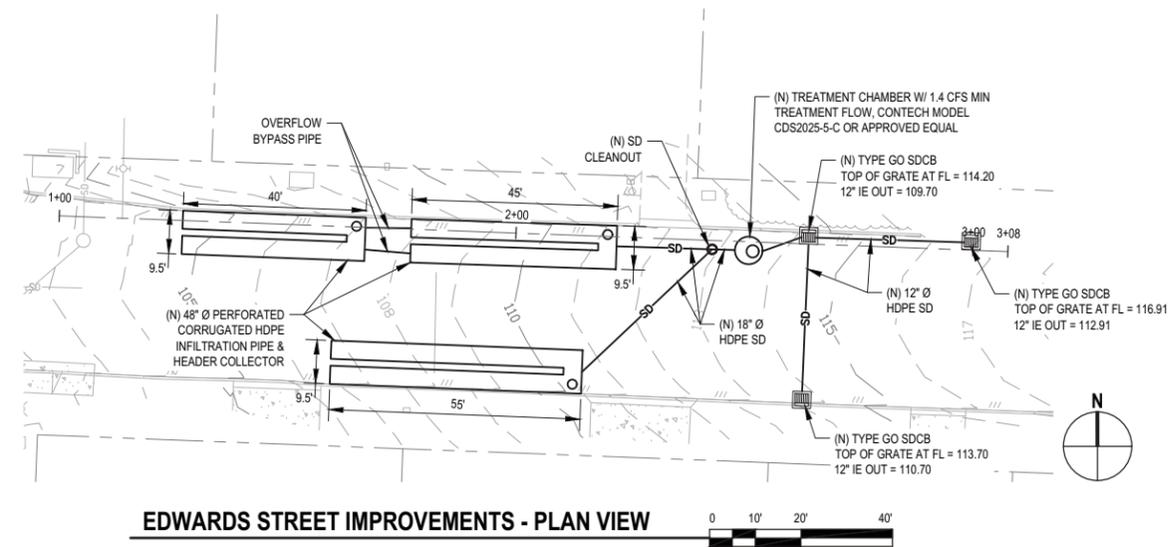
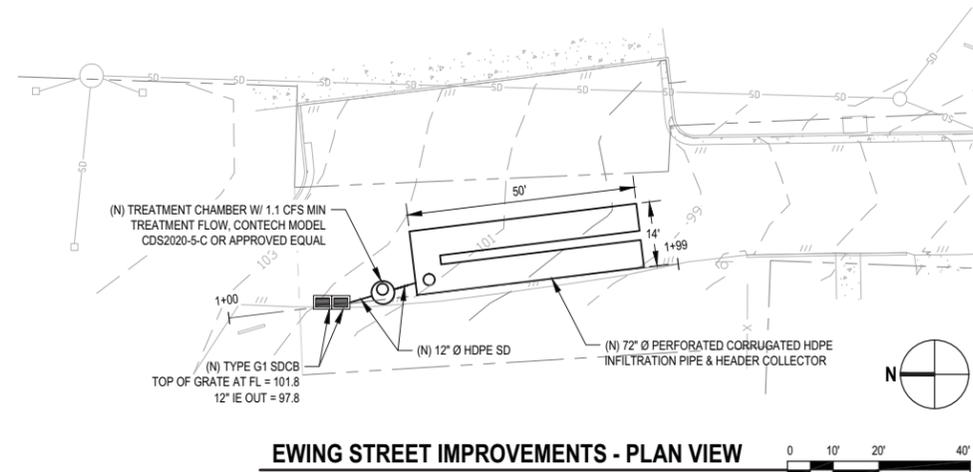
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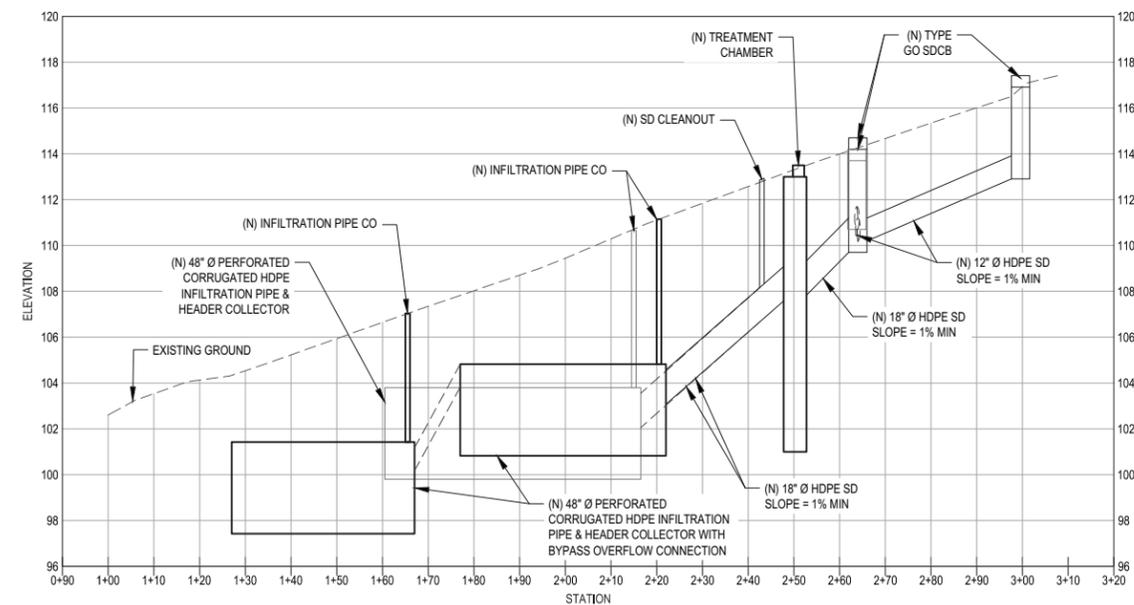
Client	CITY OF TRINIDAD		
Project	STORM WATER MANAGEMENT IMPROVEMENT PROJECT		
Title	UNDERWOOD DRIVE - PLAN AND PROFILE		
Project No.	11188180		
Original Size	ANSI D		
Sheet No.	C-201		

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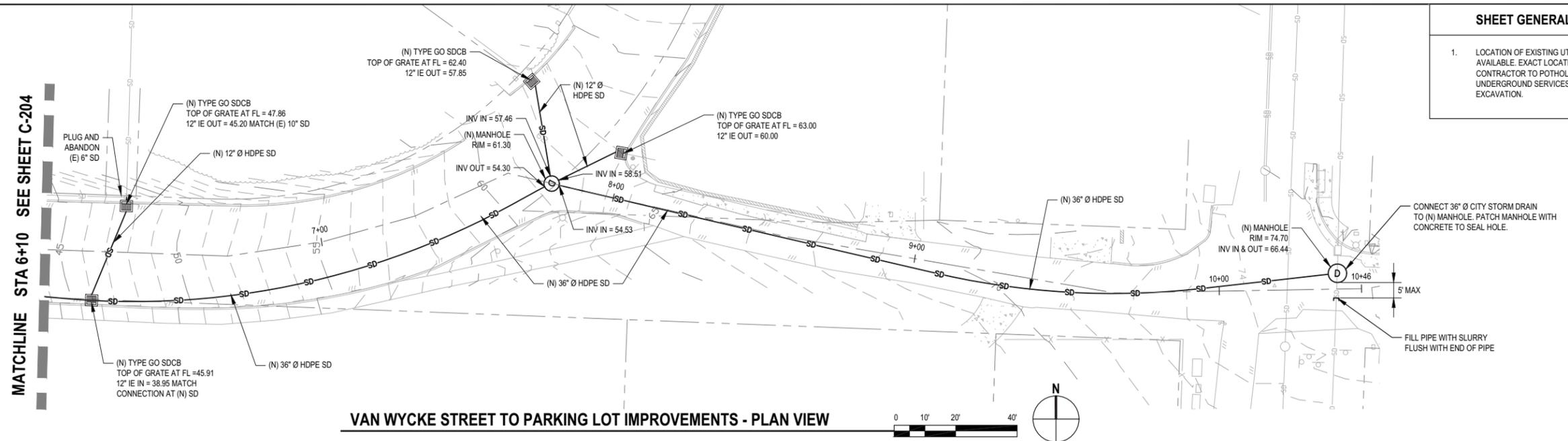
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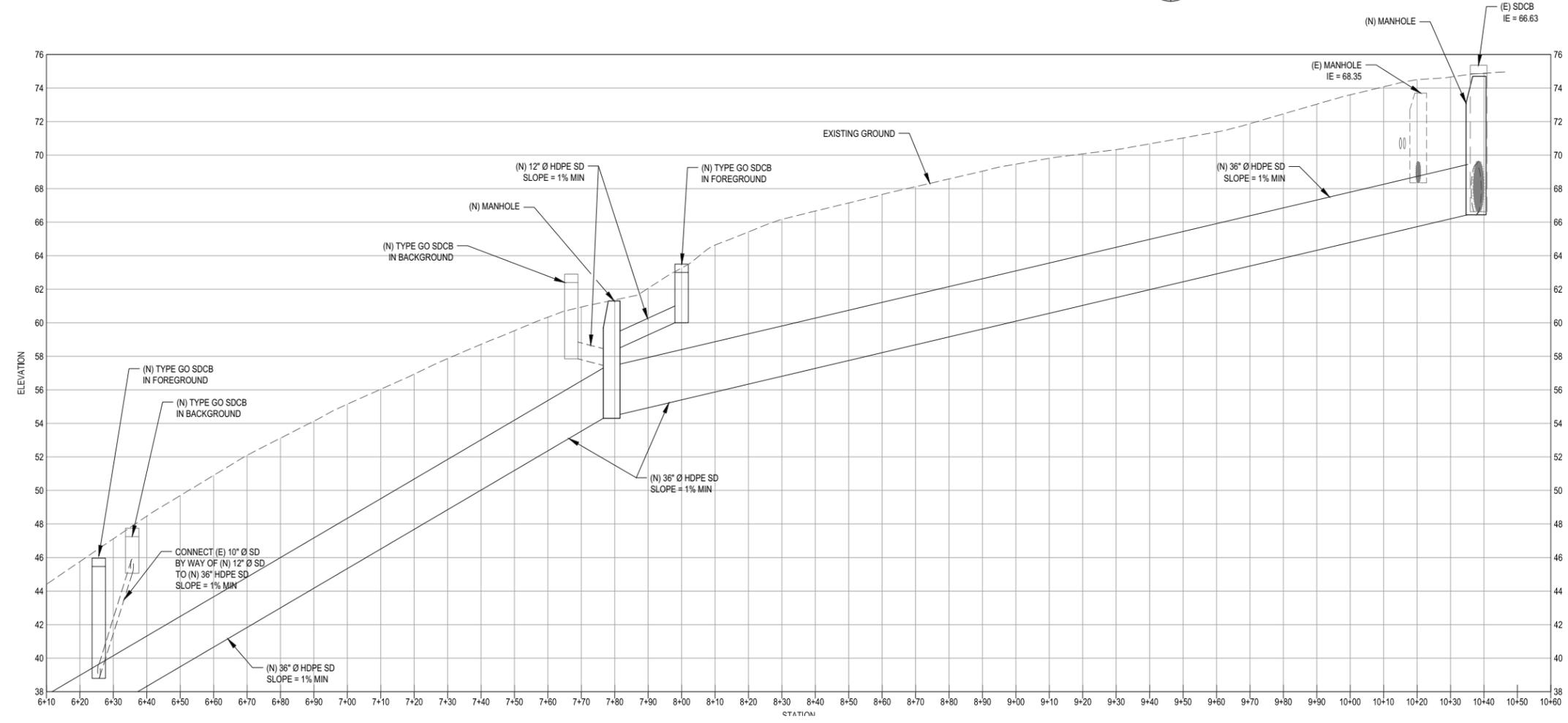
Client	CITY OF TRINIDAD		
Project	STORM WATER MANAGEMENT IMPROVEMENT PROJECT		
Title	EWING & EDWARDS STREET - PLAN AND PROFILE		
Project No.	11188180		
Original Size	ANSI D		
Sheet No.	C-202		

SHEET GENERAL NOTES

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VAN WYCKE STREET TO PARKING LOT IMPROVEMENTS - PLAN VIEW



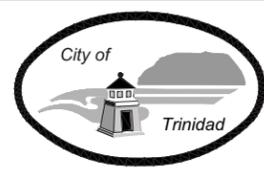
VAN WYCKE STREET TO PARKING LOT IMPROVEMENTS - PROFILE VIEW



NOTE:
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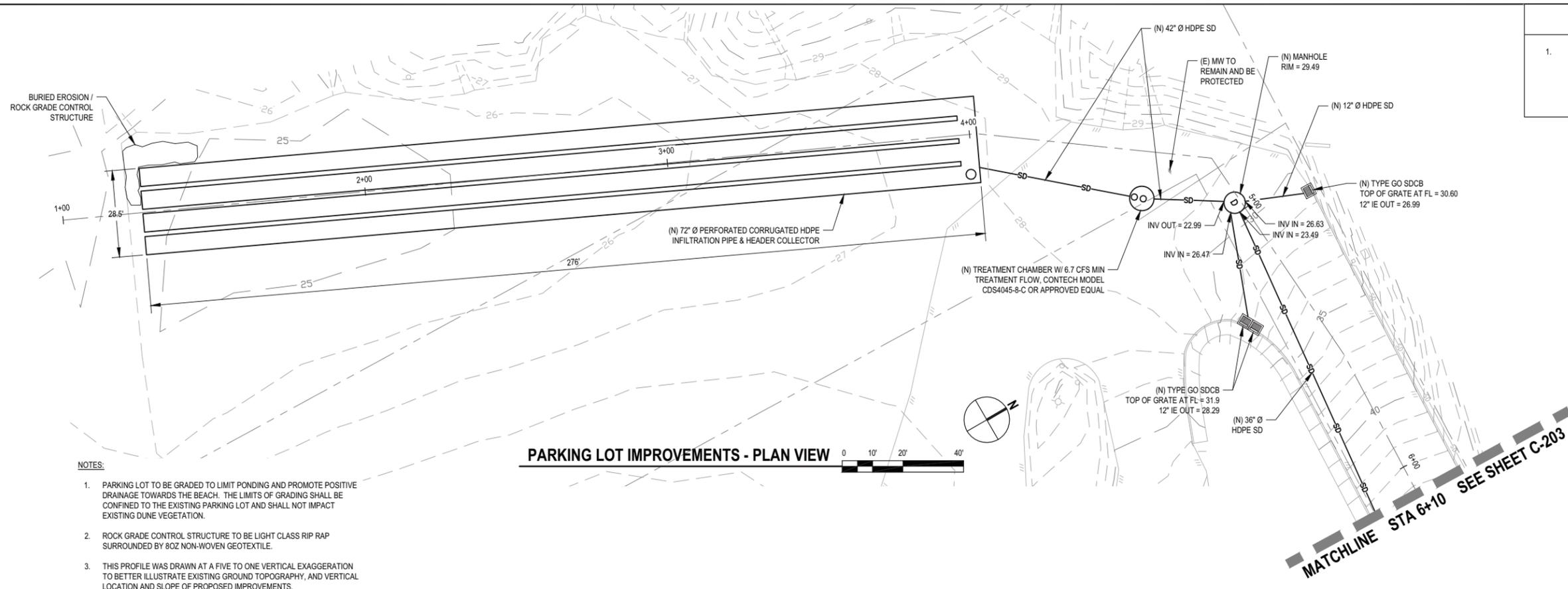
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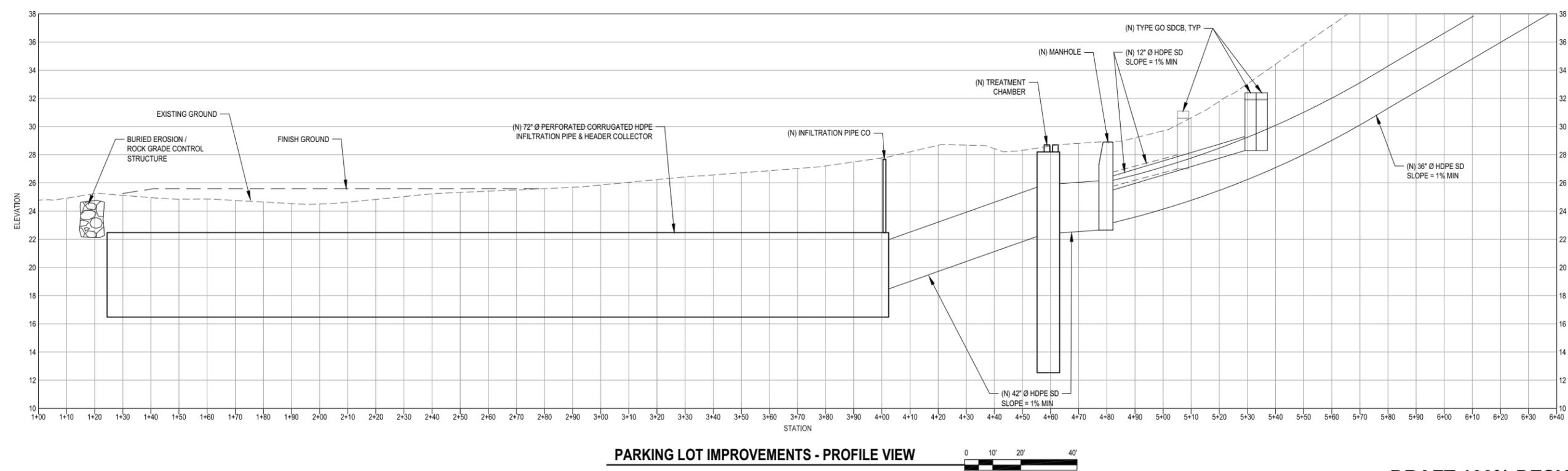
Client	CITY OF TRINIDAD	
Project	STORM WATER MANAGEMENT IMPROVEMENT PROJECT	
Title	VAN WYCKE ST TO PARKING LOT - PLAN AND PROFILE	
Project No.	11188180	
Original Size	ANSI D	
Sheet No.	C-203	
Sheet	9	of 12

SHEET GENERAL NOTES

1. LOCATION OF EXISTING UTILITIES AND STRUCTURES ARE FROM INFORMATION AVAILABLE. EXACT LOCATION AND COMPLETENESS ARE NOT GUARANTEED. CONTRACTOR TO POTHOLE FOR EXACT LOCATION. CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICES ALERT (800) 227-2600 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

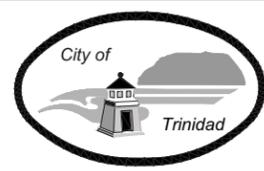


- NOTES:**
1. PARKING LOT TO BE GRADED TO LIMIT PONDING AND PROMOTE POSITIVE DRAINAGE TOWARDS THE BEACH. THE LIMITS OF GRADING SHALL BE CONFINED TO THE EXISTING PARKING LOT AND SHALL NOT IMPACT EXISTING DUNE VEGETATION.
 2. ROCK GRADE CONTROL STRUCTURE TO BE LIGHT CLASS RIP RAP SURROUNDED BY 8OZ NON-WOVEN GEOTEXTILE.
 3. THIS PROFILE WAS DRAWN AT A FIVE TO ONE VERTICAL EXAGGERATION TO BETTER ILLUSTRATE EXISTING GROUND TOPOGRAPHY, AND VERTICAL LOCATION AND SLOPE OF PROPOSED IMPROVEMENTS.



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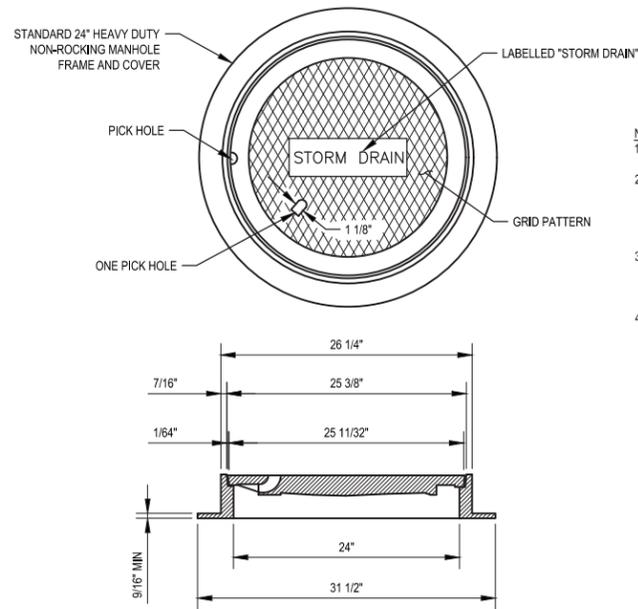
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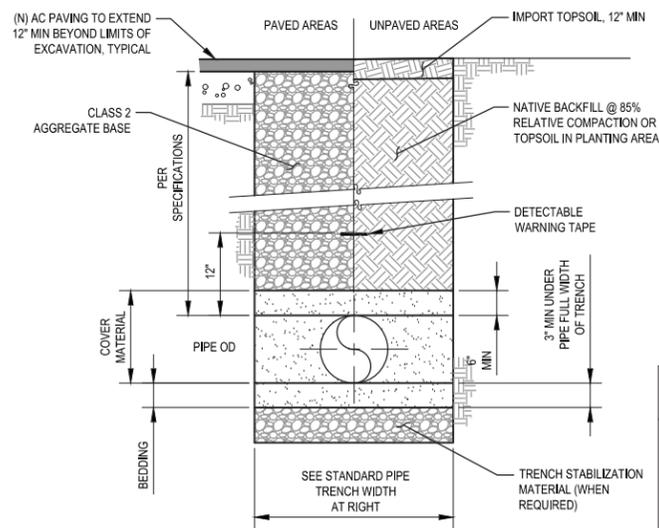
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Project	STORM WATER MANAGEMENT IMPROVEMENT PROJECT	
Title	PARKING LOT - PLAN AND PROFILE	
Project No.	11188180	
Original Size	ANSI D	
Sheet No.	C-204	
Sheet	10	of 12



- NOTES:
1. ALL CASTINGS SHALL BE DIPPED IN ASPHALT PAINT.
 2. ALL MATERIAL USED IN MANUFACTURING SHALL CONFORM TO ASTM DESIGNATION A-159-G3000, OR OF UNITED STATES GOVERNMENT SPECIFICATIONS QQ1-652B.
 3. MINIMUM WEIGHT COMPONENTS:
COVER - 130 POUNDS
FRAME - 135 POUNDS
 4. MANHOLE FRAME AND COVER SHALL BE ADA COMPLIANT.

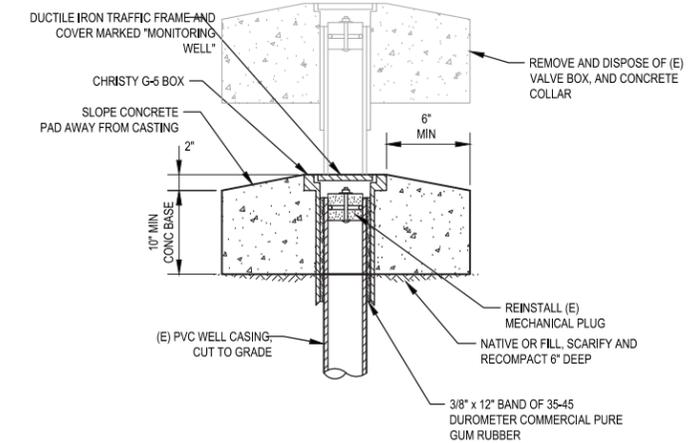
TYPICAL MANHOLE FRAME & COVER DETAIL
SCALE: NTS



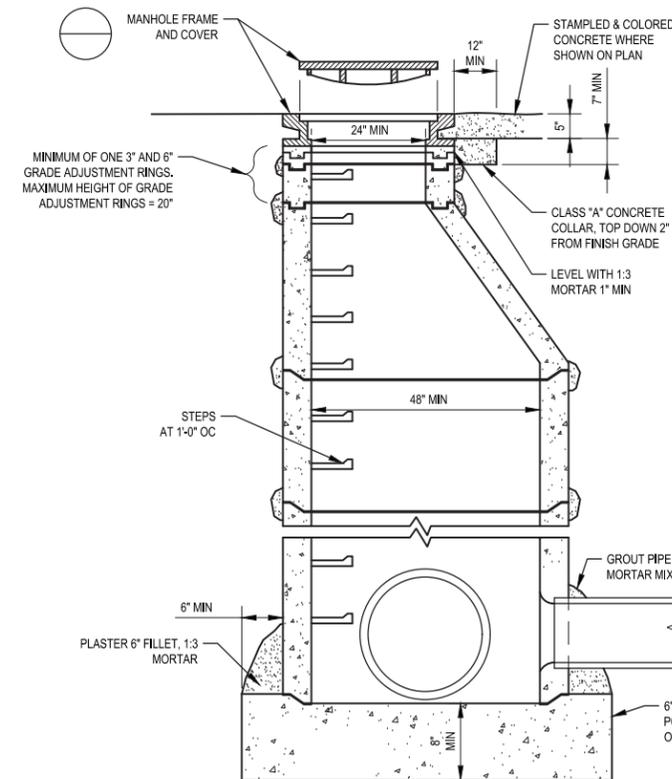
PIPE DIA "D"	MINIMUM "A"	MAXIMUM "A"
< 4"	3"	6"
4" TO 6"	6"	12"
6" TO 15"	8"	14"
16" TO 21"	10"	16"
24" TO 30"	12"	18"
33" TO 42"	15"	21"
48" & LARGER	18"	24"

- NOTES:
1. WIDER TRENCHES MAY REQUIRE HIGHER STRENGTH PIPE AND/OR SPECIAL BEDDING.
 2. DIFFERING TRENCH WIDTHS REQUIRE PRIOR APPROVAL OF ENGINEER.
 3. IN MAKING EXCAVATIONS FOR THIS PROJECT, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR PROVIDING & INSTALLING ADEQUATE SHEETING, SHORING & BRACING AS MAY BE NECESSARY AS A PRECAUTION AGAINST SLIDES OR CAVE-INS, AND TO PROTECT ALL (E) IMPROVEMENTS OF ANY KIND, EITHER ON PUBLIC OR PRIVATE PROPERTY, FULLY FROM DAMAGE.
 4. SATISFACTORY NATIVE BACKFILL MATERIAL USED AS UTILITY TRENCH BACKFILL BELOW UNPAVED AREAS SHALL BE APPROVED BY THE ENGINEER PRIOR TO USE.
 5. 2-SACK SLURRY BACKFILL MAY BE USED IN TRENCH WHEN MINIMUM PIPE COVER NOT POSSIBLE, WHEN APPROVED BY OWNER'S REPRESENTATIVE.
 6. DETECTABLE WARNING TAPE SHALL BE BRIGHT COLORED, CONTINUOUSLY PRINTED, MINIMUM 6" WIDE BY 4 MIL THICK, MANUFACTURED FOR DIRECT BURIAL.
 7. DETECTABLE WARNING TAPE NOT REQUIRED FOR IRRIGATION LINES.

TYPICAL TRENCH DETAIL
SCALE: NTS

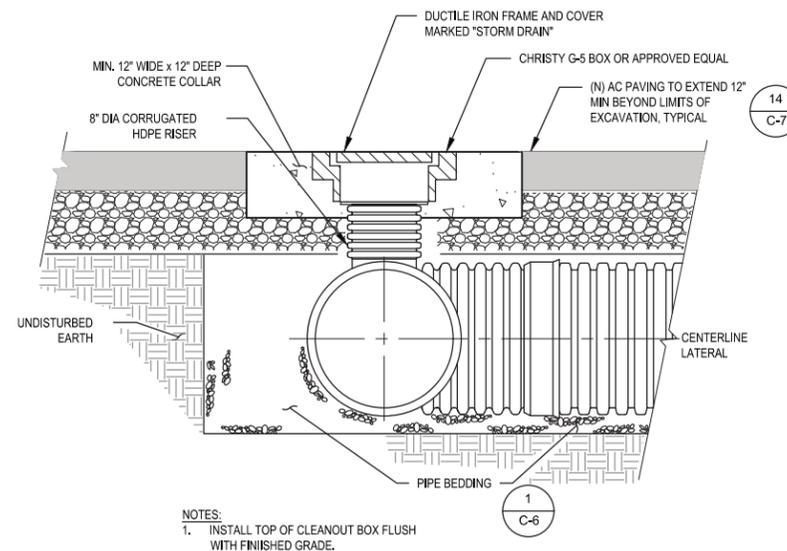


GROUNDWATER MONITORING WELL GRADE ADJUSTMENT DETAIL
SCALE: NTS



- NOTES:
1. RAM-NEK OR APPROVED EQUAL SHALL BE USED IN JOINTS, PLASTERING OF JOINTS REQUIRED IF HIGH WATER CONDITIONS EXIST.
 2. CONE SECTION MAY BE EITHER CONCENTRIC OR ECCENTRIC UNLESS OTHERWISE SPECIFIED BY THE CITY.
 3. SET ALL RINGS IN A 1:3 MORTAR BED, WET BOTH TONGUE AND GROOVE BEFORE APPLYING MORTAR AND SETTING RING. WIPE INSIDE OF JOINTS SMOOTH AND PLASTER OUTSIDE OF JOINTS WITH 1/2" LAYER OF MORTAR.
 4. ALL SECTIONS OF MANHOLE MUST BE OF IDENTICAL MAKE AND MANUFACTURER.

TYPE I STORM DRAIN MANHOLE DETAIL
SCALE: NTS

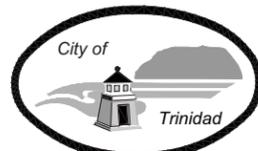


- NOTES:
1. INSTALL TOP OF CLEANOUT BOX FLUSH WITH FINISHED GRADE.

TYPICAL STORM DRAIN CLEANOUT DETAIL
SCALE: NTS

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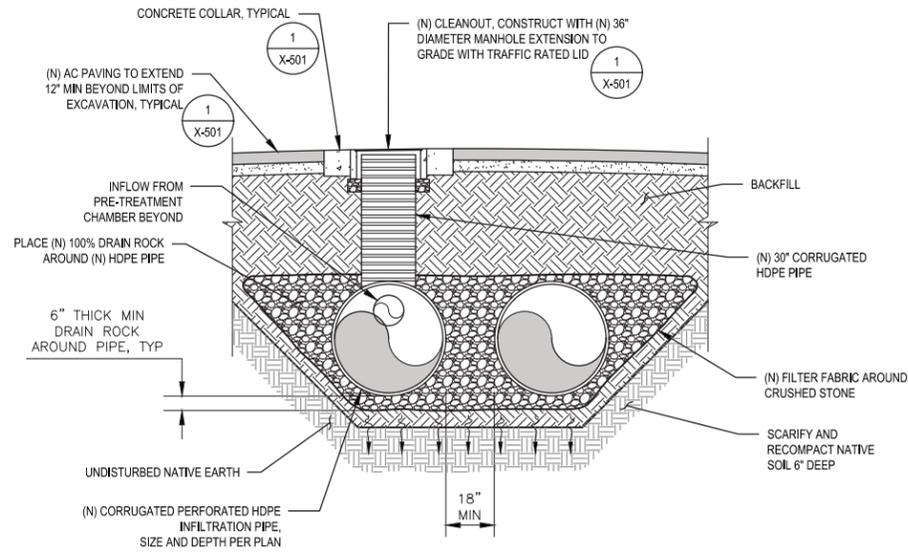
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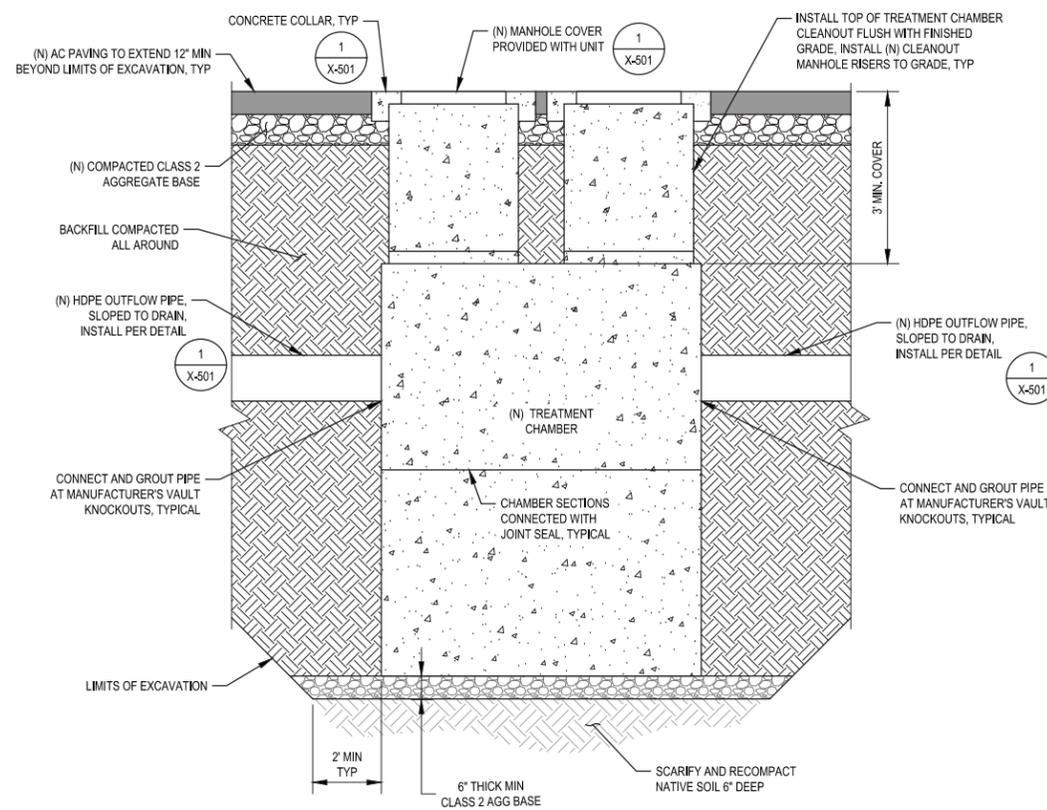
Client CITY OF TRINIDAD	Project STORM WATER MANAGEMENT IMPROVEMENT PROJECT
Title DETAILS 1 OF 2	Project No. 11188180
Original Size ANSI D	Sheet No. C-501
Sheet 11 of 12	



- NOTES:
- INFILTRATION PIPES, HEADERS, REDUCERS, AND RELATED PARTS ARE NOT ALL SHOWN.
 - ITEMS DESCRIBED ABOVE SHALL BE FROM SINGLE MANUFACTURER, AND SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.

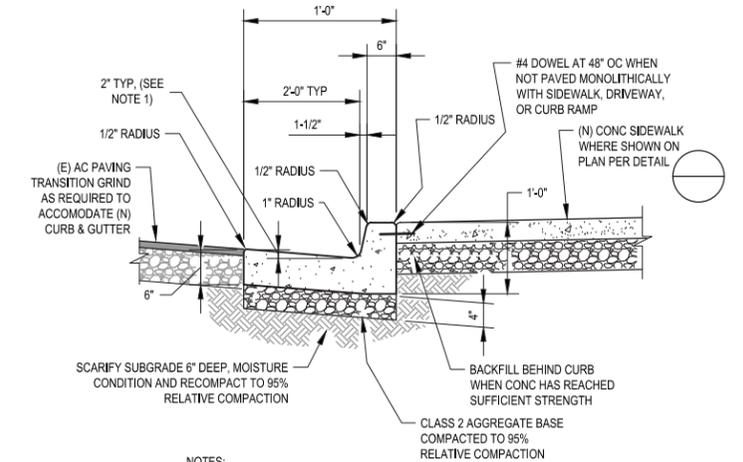
TYPICAL INFILTRATION PIPE INSTALLATION DETAIL

SCALE: NTS



TYPICAL TREATMENT CHAMBER INSTALLATION DETAIL

SCALE: NTS

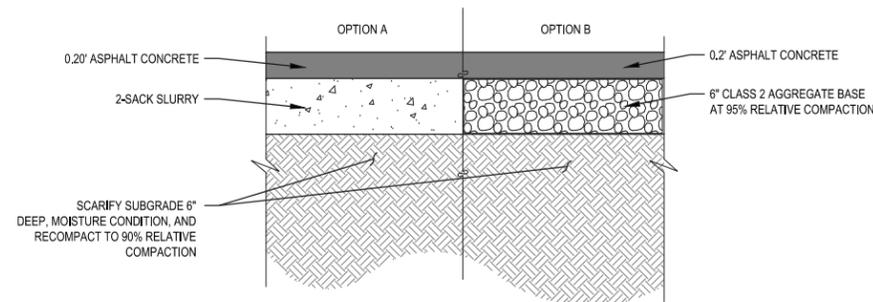


NOTES:

- ACROSS THE PEDESTRIAN ROUTE AT CURB RAMP LOCATIONS, THE GUTTER PAN SLOPE SHALL NOT EXCEED 5% WITHIN 2'-0\"/>
- NEW CURB ELEVATIONS TO BE SET ACCORDING TO OVERLAY AND/OR AS DIRECTED BY THE ENGINEER.
- DRILL AND DOWEL #4S AT 12\"/>

TYPICAL CURB AND GUTTER DETAIL - TYPE A2-6

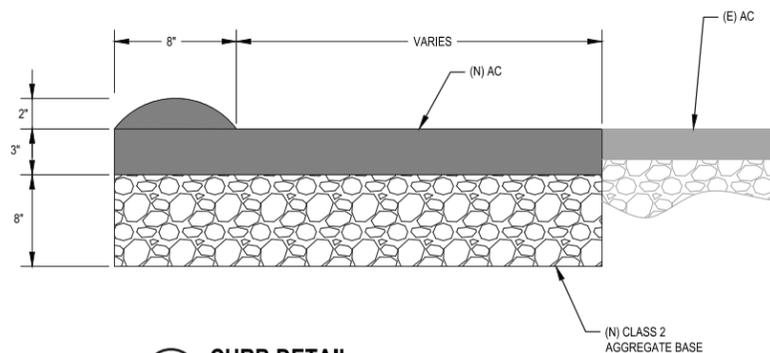
SCALE: NTS



- NOTE:
- PROVIDE TACK COAT TO ALL VERTICAL SURFACES OF EXISTING PAVEMENT, CURBS, GUTTERS AND CONSTRUCTION JOINTS IN THE SURFACING AGAINST WHICH NEW ASPHALT CONCRETE PAVING IS PLACED.

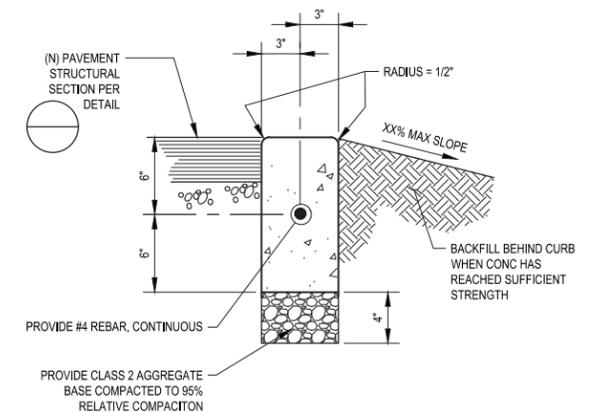
TYPICAL ASPHALT PATCH PAVING SECTION

SCALE: NTS



CURB DETAIL

SCALE: NTS



TYPICAL CONCRETE FLUSH CURB DETAIL

SCALE: NTS

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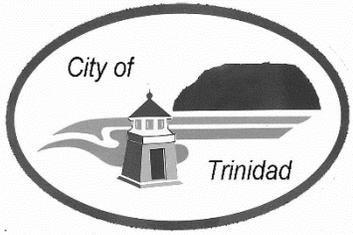
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Drawn	CP	Designer	SA/CP/RM/IPS
Drafting Check	SA/DS	Design Check	SA/PS
Project Manager	SA	Date	
This document shall not be used for construction unless signed and sealed for construction.			
Scale	AS SHOWN		

Client	CITY OF TRINIDAD		
Project	STORM WATER MANAGEMENT IMPROVEMENT PROJECT		
Title	DETAILS 2 OF 2		
Project No.	11188180		
Original Size	ANSI D		
Sheet No.	C-502		
Sheet	12 of 12		



Revision Filed: October 16, 2019
Staff: Trever Parker
Staff Report: November 4, 2019
Commission Hearing Date: November 20, 2019
Commission Action:

STAFF REPORT: CITY OF TRINIDAD

APPLICATION NO: 2019-08
APPLICANT / OWNER(S): Gregory Chappel
AGENT: Pilippe Lapotre, Architect
PROJECT LOCATION: 567 East Street

PROJECT DESCRIPTION: Design Review and Coastal Development Permit to remodel an existing 1-story, 4-bedroom, 1,982 sq. ft. residence. The project includes raising a 418 sq. ft. section of roof from approximately 8.5 ft. in height to a max of 12.5 ft. and extending approximately 400 sq. ft. of roof over existing patios and walkways, the addition of a new 40 sq. ft. covered entry, and replacing one bedroom with an expanded master bath and laundry room. After project completion, the residence will be 3-bedrooms, and will remain 1-story and 1,982 sq. ft. in floor area. A new 3-bedroom septic system was recently installed.

ASSESSOR'S PARCEL NUMBER: 042-102-002
ZONING: UR - Urban Residential
GENERAL PLAN DESIGNATION: UR - Urban Residential
ENVIRONMENTAL REVIEW: Categorically Exempt per § 15301 of the CEQA Guidelines exempting alterations of and additions to existing structures.

APPEAL STATUS: Planning Commission action on a Coastal Development Permit, Variance, Conditional Use Permit, and/or Design Review approval application will become final 10 working days after the date that the Coastal Commission receives a "Notice of Action Taken" from the City unless an appeal to the City Council is filed in the office of the City Clerk at that time. Furthermore, this project is X / ~~is not~~ appealable to the Coastal Commission per the City's certified LCP and may be appealable per Section 30603 of the Coastal Act.

SITE CHARACTERISTICS:

The property is located on the south side of East Street. It is currently developed with a 3-bedroom, single-story, 1,982 sq. ft. single-family residence. There is a 684 sq. ft. (38 ft. x 18 ft.) carport adjacent to and west of the house. A 384 sq. ft. detached accessory structure (24 ft. x 16 ft.), which sits on the southwest corner of the lot at the south end of the carport, was previously converted into living space (bedroom, storage/work space, bath) and is included in the 1,982 sq. ft. The property is accessed via a driveway from East Street. In anticipation of this project, the septic system, which previously consisted of a tank and leachpit located within the footprint of the existing driveway was upgraded. A new 3-bedroom septic system, consisting of a new tank, leachfield, and reserve area, was recently installed. The lot is generally flat with a slight slope towards the south. There are residences to the east, west and north, and a vacant residential lot to the south.

STAFF COMMENTS:

This project proposes additional height and roof extensions on an existing structure, which requires a Coastal Development Permit and Design Review. Originally, the applicant envisioned a larger project, consisting of a higher roof with a mezzanine/loft area and second story deck. However, due to objections from neighbor(s), the owner has reduced the scope of the project. The owner will not be able to attend the hearing due to a prior obligation that cannot be rescheduled. However, the architect will be able to attend the hearing to represent the project. The applicant provided the following statement that he wanted the Planning Commission to know:

I retire at the end of this year, and when the lease for the current tenants expires on July 31, 2020, I will begin residing in the property 4-5 months a year. I have no intentions to ever renting that property again. The house will serve as my home from approximately May through September every year. Also, it may be of interest to know that I have engaged the services of Jim at Bluestone Landscaping in Arcata to put together a landscape design. I will promptly have the landscaping installed and undertake to complete the remodel as proposed upon taking possession of the property in August, 2020. My first priority is to address the outside appearance of that property which, I am sure, will be to the great pleasure of my neighbors.

Referrals were sent to Public Works, the City Engineer, Building Inspector, County Division of Environmental Health (DEH) and the Coastal Commission. The City Engineer noted that the site plan does not label the property lines or edge of City right-of-way. In addition, the edge of pavement and waterlines and water meter should be shown on the plans. The applicant submitted revised plans that address some of the comments, and any outstanding during the building permit stage. Public Works and the

Building Inspector had no comments at this time. DEH had no issues with the project once the new septic system was installed. Coastal Commission staff noted that the project is appealable to the Coastal Commission, and that the staff report should assess the project's consistency with the Design Review findings and public access policies of the LCP.

Potential Conflicts of Interest

Commissioners Lake and Stockness both own property that is just under or near 200 ft. from the subject property. Commissioner Kelly owns property approximately 450 ft. from the subject property. There is an assumed monetary conflict of interest for properties within 500 ft. of a project. This distance can be reduced to 300 ft. if certain conditions are met (see November 2008 memo from then City Attorney Paul Hagen). However, because Commissioner Kelly's property is greater than 125% of the median residential lot size in Trinidad, she does not meet those conditions (the other five conditions are met). Therefore, all three Commissioners - Kelly, Lake, and Stockness - have an assumed financial conflict of interest on this project. When this occurs, Commissioners may either recuse themselves and not vote on the project, or they can make a rebuttal to the presumed conflict of interest, and then participate in the hearing and vote on the project.

This is a small project that is not likely to substantially impact neighboring property values. However, keep in mind that the conflict of interest standard is a single cent of difference. Because Commissioner Kelly's property is not located in the same neighborhood, it is difficult to see how this project would change her property value. But if all three Commissioners feel that they have a potential financial (or other, such as personal) conflict of interest, then that would be a majority of Commissioners. In that case, the "rule of necessity" can be used, because the Planning Commission is required to act on this application. We can address this process at the meeting if necessary.

ZONING ORDINANCE / GENERAL PLAN CONSISTENCY

The property where the project is located is zoned UR - Urban Residential. The purpose of this zone is to allow relatively dense residential development; single-family residences are a principally permitted use. The minimum lot size allowed in the UR zone is 8,000 sq. ft. and the maximum density is one dwelling per 8,000 sq. ft. There is a little discrepancy in the size of the subject parcel between various sources. The architect notes a lot size of 7,303 sq. ft., the assessor data lists the lot size as 7,149 sq. ft., and the City's GIS calculates it as only 6,871 sq. ft. The City's data has not been corrected with any survey data in the GIS, so it is just based on the Assessor Parcel Map, which should not be assumed to be accurate. The lot is likely 75 ft. wide, rather than the 76 ft. stated on the plans, because it takes up three of the old 25 ft. wide City (tent) lots. That brings the lot size down to approximately 7,200 based on the lot depths shown on the plan,

which match adjacent parcels, and that area corresponds closely to the assessor data. Therefore, staff assumes a lot size of 7,200 sq. ft.

The project primarily involves changes to the existing roofline and some interior remodeling. A 418 sq. ft. section of roof will be raised by a maximum of 4 ft. with an increased pitch. In addition, the roof will be expanded over an existing patio and walkway at the rear of the residence and a new covered entry will be added on the front. The project also entails an interior remodel that will convert one of the existing bedrooms to a larger, master bath and laundry room, reducing the number of bedrooms from four to three. The floor area and footprint of the residence are not proposed to change. The City does not have much file information on this property, but there is no evidence that the detached living space was created any time recently, and it contains no kitchen facilities. The existing and proposed project square footages are shown in Table 1. The floor area and footprint of other structures is included in the table for comparison.

TABLE 1 - AREAS

	EXISTING	PROPOSED
LOT AREA	7,200 sq. ft.	7,200 sq. ft.
FLOOR AREA		
Primary Residential Structure	1,598 sq. ft.	1,598 sq. ft.
Detached Living Space	384 sq. ft.	384 sq. ft.
Total Residential Area	1,982 sq. ft.	1,982 sq. ft.
Patios/Driveway/Walkways	1,480 sq. ft.	1,520 sq. ft.
Carport	684 sq. ft.	684 sq. ft.
Footprint of all structures	4,146 sq. ft.	4,186 sq. ft.
FLOOR TO LOT AREA RATIO		
Total Residence	27.5%	27.5%
Total Footprint (lot coverage)	57.5%	58.1%

The maximum height allowed in the UR zone (Zoning Ordinance §17.36.06) is 25', (measured from the average ground level elevation covered by the structure to the highest point of the roof, §17.56.100), except that the Commission may require a lesser height in order to protect views. The height of the roof peak of the existing residence is approximately 10.5' as measured from the average ground elevation covered by the structure. The portion of the roof that will be raised has an existing maximum height of 8.5 ft., and will be increased to a maximum height of 12.5 ft. Although this is not an existing vacant lot, View Protection finding C seems to guarantee a height of at least 15 ft. for new residences. In addition, §17.72.070.B allows construction of accessory structures of 500 sq. ft. or less up to 15 ft. in height without Design Review or a Coastal

Development Permit (CDP). Based on those provisions, 12.5 ft. could be considered a reasonable height regardless of whether there are any view impacts, which is unlikely.

The Zoning Ordinance (§ 17.56.180) requires two off-street parking spaces other than any garage spaces for single-family dwellings. Each parking space is required to be 18' long and 8.5' wide. The existing driveway can accommodate two parking spaces, and the carport could accommodate an additional four spaces. The proposed project will not increase parking requirements.

No grading will be required to construct the proposed project. This site is already connected to services and utilities, and these will not change. Exterior materials and colors, as well as new architectural features are shown on the provided plans. Materials include new hardiplank horizontal and vertical siding and to match the existing residence. Colors will be similar to the existing residence, which is blue and grey, and are shown on the plans.

The Trinidad General Plan and Zoning Ordinance protect importance public coastal views from roads, trails and vista points and private views from inside residences located uphill from a proposed project from significant obstruction. Because the project proposes a taller and wider roofline, there is the potential to impact views from residences located adjacent to or above the structure. Due to the project location and the minimal height of the structure, view blockage potential is minimal. Elevations have been provided for this project, the applicant has been requested to install story poles, which will be erected on Sunday (11/17), and the neighbors have been notified. Commissioners are encouraged to visit the site (from the street).

In response to a referral, Coastal Commission staff requested that City staff ensure that the project is consistent with the public access policies of the Coastal Act, because it is located between the sea and the first public road. The public access policies are found in Article 2, sections 30210 to 30214 of the Coastal Act. Wagner Street, which his located between the sea and the project, is partially public and partially private. The project site does not currently provide coastal access and is not located near any public trails. There are two residential properties between this one and the bluff. Nearby public access is already provided along Wagner Street to the Old Wagon Road Trail, which accesses the Parker Creek Trail to Old Home Beach. Therefore, the project is consistent with the public access policies of the Coastal Act, and no new access dedications are required.

SLOPE STABILITY:

The project site is not mapped as being “unstable” or of “questionable stability” on Plate 3 of the General Plan. The project is located outside of the Alquist-Priolo Fault Zone. Therefore, no geologic study is required.

SEWAGE DISPOSAL:

A new 3-bedroom septic system was installed as part of this project. In accordance with a permit from DEH, a new traffic-rated septic tank (with traffic rated lids) was installed along with three new leachlines in the front yard; a reserve area was also located in the rear yard. The old septic tank and leachpit were destroyed according to DEH regulations (pumped and filled with slurry). A deed restriction limiting the property to three bedrooms and a single residential unit has also been included as a standard condition of approval. The project is consistent with the City's OWTS Management Program and DEH requirements.

LANDSCAPING AND FENCING:

This project does not involve any new landscaping or fencing. The applicant has plans for future landscaping, but landscaping is not required and does not need a permit.

DESIGN REVIEW / VIEW PROTECTION FINDINGS:

Because the project alters the profile of an existing structure and is not exempt from a Coastal Development Permit (§17.72.070.C), §17.60.030 of the zoning ordinance requires Design Review and View Preservation Findings to be made. The required findings are written in a manner to allow approval, without endorsing the project. However, if conflicting information is submitted at the public hearing or public comment received indicating that views, for instance, may be significantly impacted, or the structure proposed is obtrusive, the findings should be reworded accordingly.

Design Review Criteria

- A. *The alteration of natural landforms caused by cutting, filling, and grading shall be minimal. Structures should be designed to fit the site rather than altering the landform to accommodate the structure.* Response: Essentially no grading is required to construct the project; a small amount of soil disturbance may be needed to expand the existing front porch by 40 sq. ft.
- B. *Structures in, or adjacent to, open space areas should be constructed of materials that reproduce natural colors and textures as closely as possible.* Response: The project is not located within 100 ft. of any open space areas.
- C. *Materials and colors used in construction shall be selected for the compatibility both with the structural system of the building and with the appearance of the building's natural and man-made surroundings. Preset architectural styles (e.g. standard fast food restaurant designs)*

shall be avoided. Response: Exterior materials and colors will be consistent with the existing structure and surrounding development.

- D. *Plant materials should be used to integrate the manmade and natural environments to screen or soften the visual impact of new development, and to provide diversity in developed areas. Attractive vegetation common to the area shall be used.* Response: No changes in landscaping are proposed at this time. Screening can be found to be unnecessary, because the structure is consistent with surrounding development.
- E. *On-premise signs should be designed as an integral part of the structure and should complement or enhance the appearance of new development.* Response: No signs are proposed as part of this project.
- F. *New development should include underground utility service connections. When above ground facilities are the only alternative, they should follow the least visible route, be well designed, simple and unobtrusive in appearance, have a minimum of bulk and make use of compatible colors and materials.* Response: The property is currently served by overhead utility lines. No changes to the existing utilities are proposed or required.
- G. *Off-premise signs needed to direct visitors to commercial establishments, as allowed herein, should be well designed and be clustered at appropriate locations. Sign clusters should be a single design theme.* Response: No off-premise signs are proposed as part of this project.
- H. *When reviewing the design of commercial or residential buildings, the committee shall ensure that the scale, bulk, orientation, architectural character of the structure and related improvements are compatible with the rural, uncrowded, rustic, unsophisticated, small, casual open character of the community. In particular:*
- 1. Residences of more than two thousand square feet in floor area and multiple family dwellings or commercial buildings of more than four thousand square feet in floor area shall be considered out of scale with the community unless they are designed and situated in such a way that their bulk is not obtrusive.* Response: The proposed project will not alter the floor area of the existing 1,982 sq. ft. residence.
 - 2. Residential and commercial developments involving multiple dwelling or business units should utilize clusters of smaller structures with sufficient open space between them instead of a consolidated structure.* Response: No such development is proposed.

View Protection

- A. *Structures visible from the beach or a public trail in an open space area should be made as visually unobtrusive as possible.* Response: Due to the project location, it is not likely visible from any public trails or open space areas.

- B. *Structures, including fences over three feet high and signs, and landscaping of new development, shall not be allowed to significantly block views of the harbor, Little Trinidad Head, Trinidad Head or the ocean from public roads, trails, and vista points, except as provided in subdivision 3 of this subsection.* Response: Due to the proposed project's location and modest height, there is minimal potential to impact public views.
- C. *The committee shall recognize that owners of vacant lots in the SR and UR zones, which are otherwise suitable for construction of a residence, are entitled to construct a residence of at least fifteen feet in height and one thousand five hundred square feet in floor area, residences of greater height as permitted in the applicable zone, or greater floor area shall not be allowed if such residence would significantly block views identified in subdivision 2 of this subsection. Regardless of the height or floor area of the residence, the committee, in order to avoid significant obstruction of the important views, may require, where feasible, that the residence be limited to one story; be located anywhere on the lot even if this involves the reduction or elimination of required yards or the pumping of septic tank wastewater to an uphill leach field, or the use of some other type of wastewater treatment facility; and adjust the length-width-height relationship and orientation of the structure so that it prevents the least possible view obstruction.* Response: Due to the proposed project's location and modest height, there is minimal potential to impact private views.
- D. *If a residence is removed or destroyed by fire or other means on a lot that is otherwise usable, the owner shall be entitled to construct a residence in the same location with an exterior profile not exceeding that of the previous residence even if such a structure would again significantly obstruct public views of important scenes, provided any other nonconforming conditions are corrected.* Response: There was no residence that was destroyed by fire associated with this project.
- E. *The Tsurai Village site, the Trinidad Cemetery, the Holy Trinity Church and the Memorial Lighthouse are important historic resources. Any landform alterations or structural construction within one hundred feet of the Tsurai Study Area, as defined in the Trinidad general plan, or within one hundred feet of the lots on which identified historical resources are located shall be reviewed to ensure that public views are not obstructed and that development does not crowd them and thereby reduce their distinctiveness or subject them to abuse or hazards.* Response: The project is not located within 100 ft. of the Tsurai Study Area, Cemetery, Holy Trinity Church or Memorial Lighthouse.

STAFF RECOMMENDATION

Based on the above analysis, the project can be found to be consistent with the City's Zoning Ordinance, General Plan, Coastal Act, and other applicable policies and regulations. Therefore the necessary findings for granting approval of the project can be

made. If the Planning Commission agrees with staff's analysis, a proposed motion might be similar to the following:

Based on application materials and information included in this Staff Report, and based on public testimony, I move to adopt the information and required Design Review, View Protection, and other findings in this staff report and approve the project as submitted in the application, and described in this staff report, and as conditioned herein.

PLANNING COMMISSION ALTERNATIVES

If the Planning Commission does not agree with staff's analysis, or if information is presented during the hearing that conflicts with the information contained in the staff report, the Planning Commission has several alternatives.

- A. Add conditions of approval to address any specific concerns on the part of the Commission or the public.
- B. Delay action / continue the hearing to obtain further information.
 - In this case, the Planning Commission should specify any additional information required from staff or the applicant and / or suggestions on how to modify the project and / or conditions of approval.
- C. Denial of the project.
 - The Planning Commission should provide a motion that identifies the Finding(s) that can not be made and giving the reasons for the inability to make said Finding(s).

CONDITIONS OF APPROVAL

1. The applicant is responsible for reimbursing the City for all costs associated with processing the application. *Responsibility: City Clerk prior to building permits being issued.*
2. Based on the findings that community values may change in a year's time, approval of this Design Review is for a one-year period starting at the effective date and expiring thereafter unless the project has been initiated through issuance of a building permit or an extension is requested from the Planning Commission prior to that time. *Responsibility: City Clerk prior to building permits being issued.*
3. Construction related activities are to occur in a manner that incorporates storm water runoff and erosion control measures as necessary in order to protect water

quality considerations near the bluffs. Specific water quality goals include, but are not limited to:

- a. Limiting sediment loss resulting from construction
- b. Limiting the extent and duration of land disturbing activities
- c. Replacing vegetation as soon as possible
- d. Maintaining natural drainage conditions

Responsibility: Building Inspector to confirm prior building permits being issued and during construction.

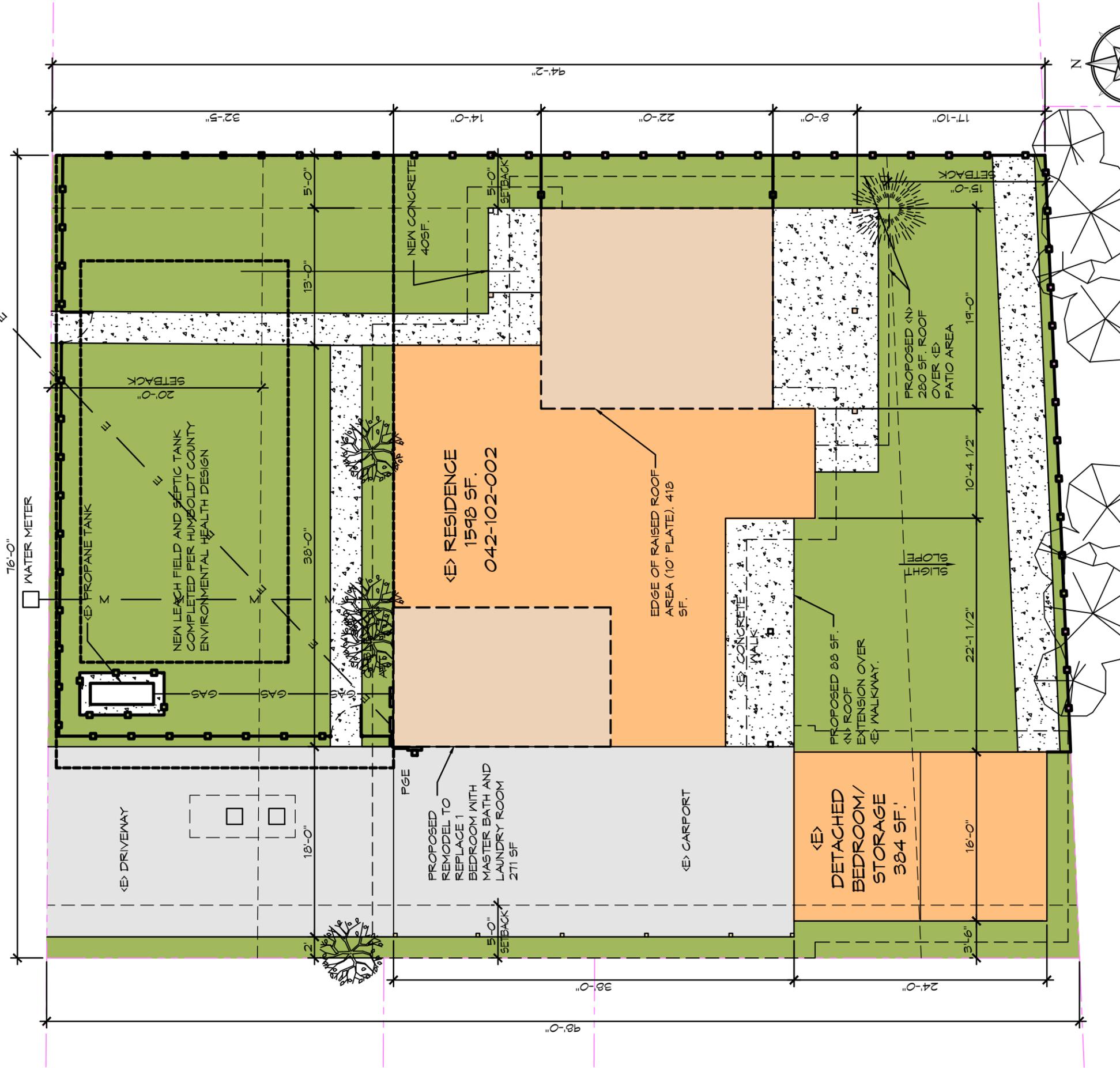
4. The applicant is responsible for submitting proof that a statement on the deed, in a form approved by the City Attorney, has been recorded indicating that any increase in the number of bedrooms above a total of three bedrooms, or number of dwelling units above one, will require City approval of adequate sewage disposal capabilities and other applicable standards. *Responsibility: Building Inspector to verify prior to building permits being issued.*
5. Construction related activities are to occur in a manner that will not impact the integrity of the septic system. The leachfield area shall be staked and flagged to keep equipment off the area. Alternatively, a written description of techniques/timing to be utilized to protect the system will be required from the contractor. If the proposed system area is impacted by construction activities, an immediate Stop-Work Order will be placed on the project. The contractor will be required to file a mitigation report for approval by the City and DEH prior to permitting additional work to occur. *Responsibility: Building Inspector to verify prior to building permits being issued and during construction.*
6. Recommended conditions of the City Building Inspector shall be required to be met as part of the building permit application submittal. Grading, drainage and street improvements will need to be specifically addressed at the time of building permit application. *Responsibility: Building Inspector prior to building permits being issued.*

ATTACHMENTS

- Plans (three 11" x 17" pages)

CENTERLINE OF EAST STREET

OVERHEAD ELECTRICAL SERVICE



1 SCHEMATIC SITE PLAN
SCALE: 1"=10'-0"



PHILIPPE LAPOTRE
ARCHITECT

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EUREKA, CA 95501

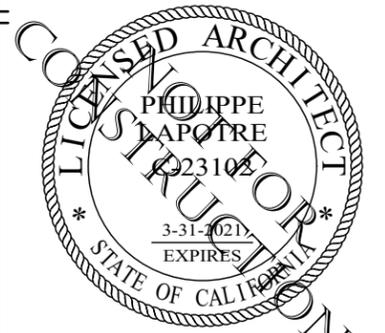
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RESIDENCE REMODEL
FOR
GREGORY CHAPPEL

APN: 042-102-002
567 EAST STREET
TRINIDAD, CALIFORNIA
DATE: 10/16/2019

ALL DESIGNS, CONCEPTS, IDEAS AND ARRANGEMENTS DEPICTED WITHIN THESE DRAWINGS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF THE ARCHITECT, AND ARE INTENDED TO BE USED IN CONNECTION WITH THIS SPECIFIC PROJECT ONLY AND SHALL NOT BE USED IN WHOLE OR IN PART FOR ANY OTHER PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

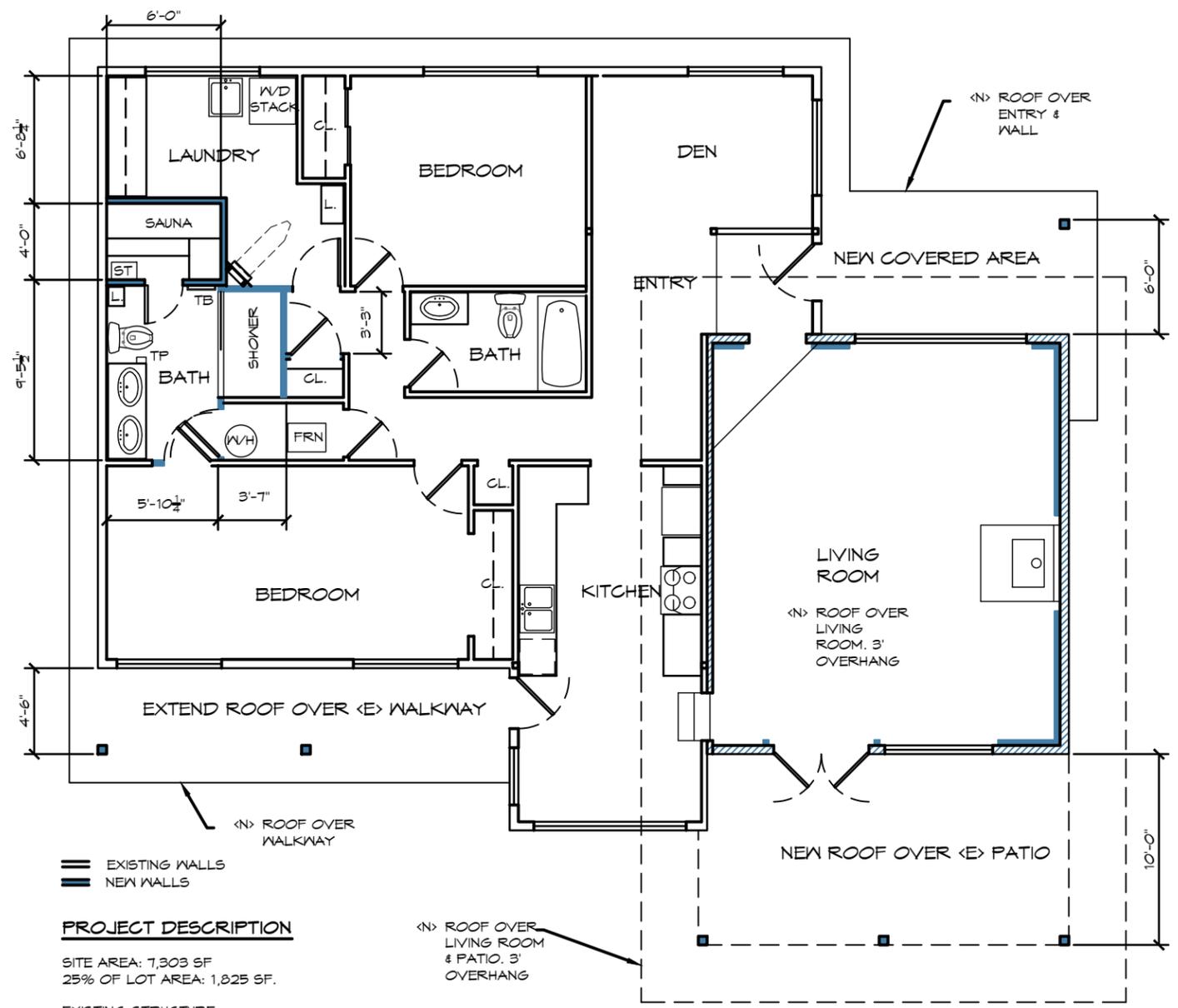


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**RESIDENCE
 REMODEL
 FOR
 GREGORY
 CHAPPEL**

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EXISTING WALLS
 NEW WALLS

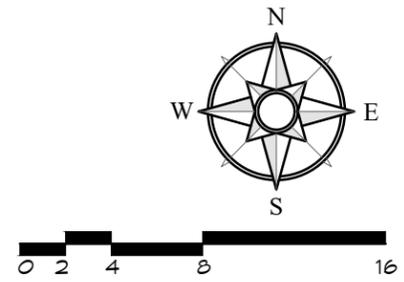
PROJECT DESCRIPTION

SITE AREA: 7,303 SF
 25% OF LOT AREA: 1,825 SF.

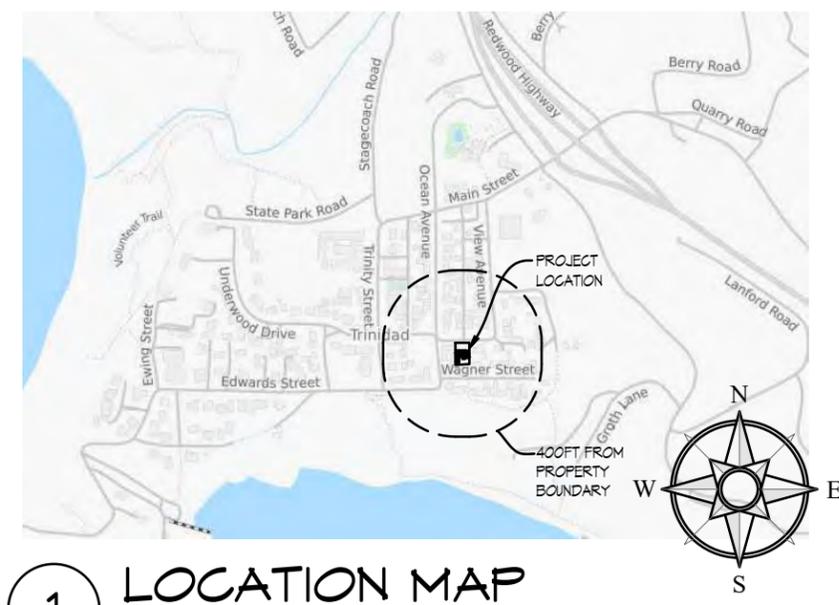
EXISTING STRUCTURE:
 • SINGLE FAMILY RESIDENCE & STUDIO
 • ONE STORY
 • FOOTPRINT: 1,982 SF.

PROPOSED REMODEL:
 • RAISE LIVING ROOM ROOF
 • MASTER BATH & LAUNDRY
 SEE SITE PLAN FOR SQUARE FOOTAGES

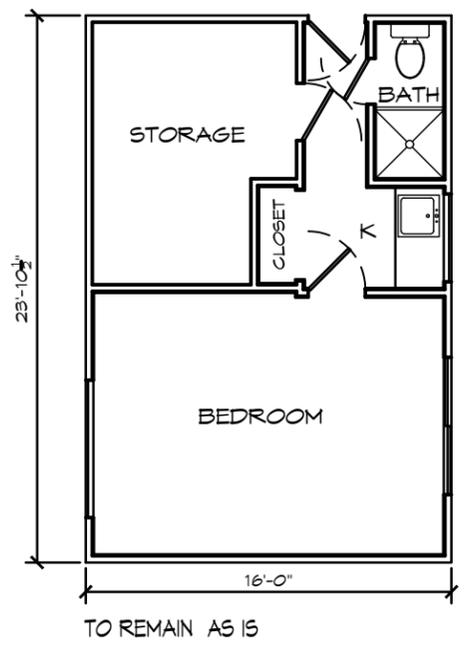
TOTAL FLOOR AREA: 1,982 SF. < 2,000 SF.



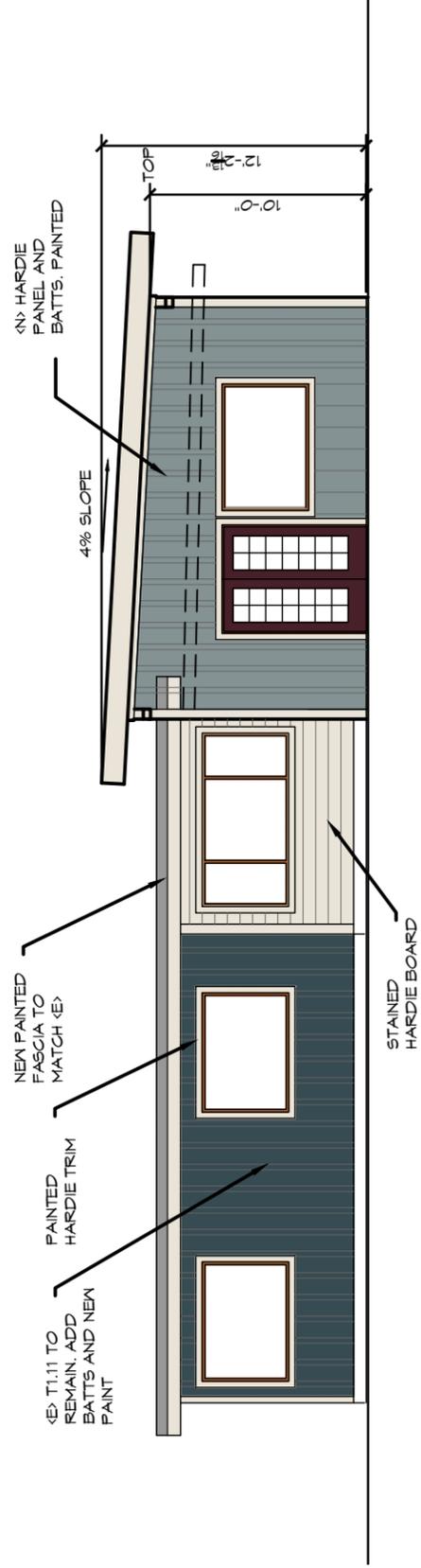
2 SCHEMATIC FLOOR PLAN
 SCALE: 1/8"=1'-0"



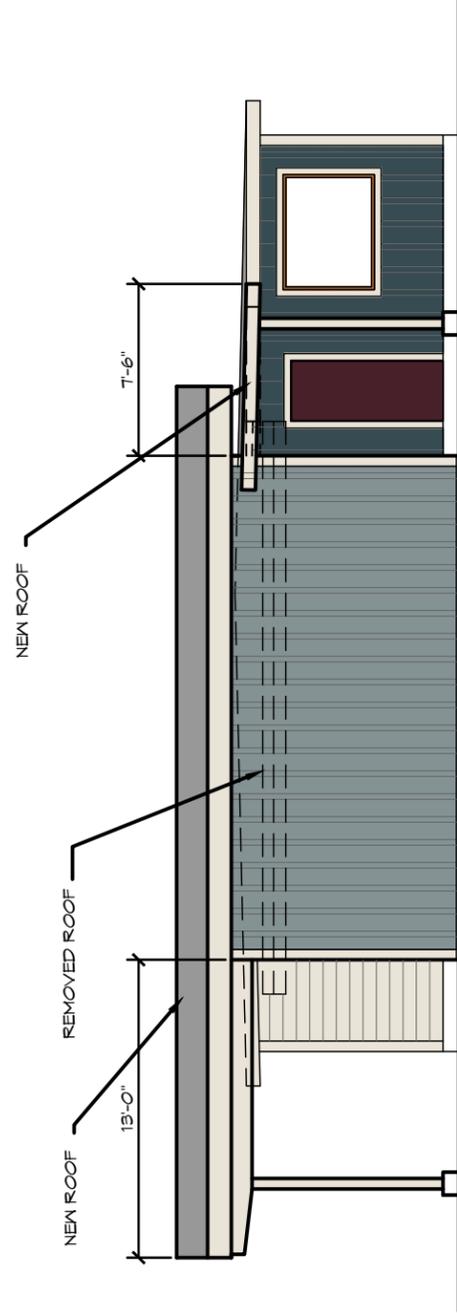
1 LOCATION MAP
 N.T.S.



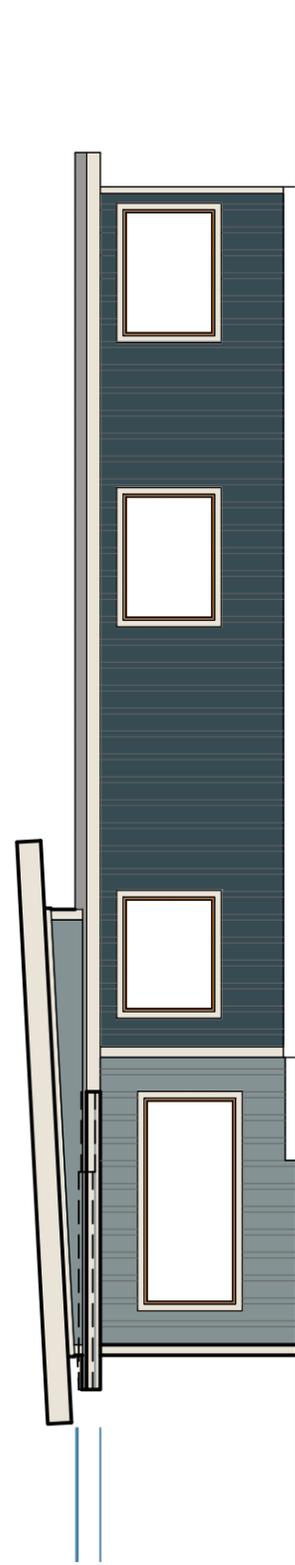
3 <E> DETACHED BDRM/ST.
 SCALE: 1/8"=1'-0"



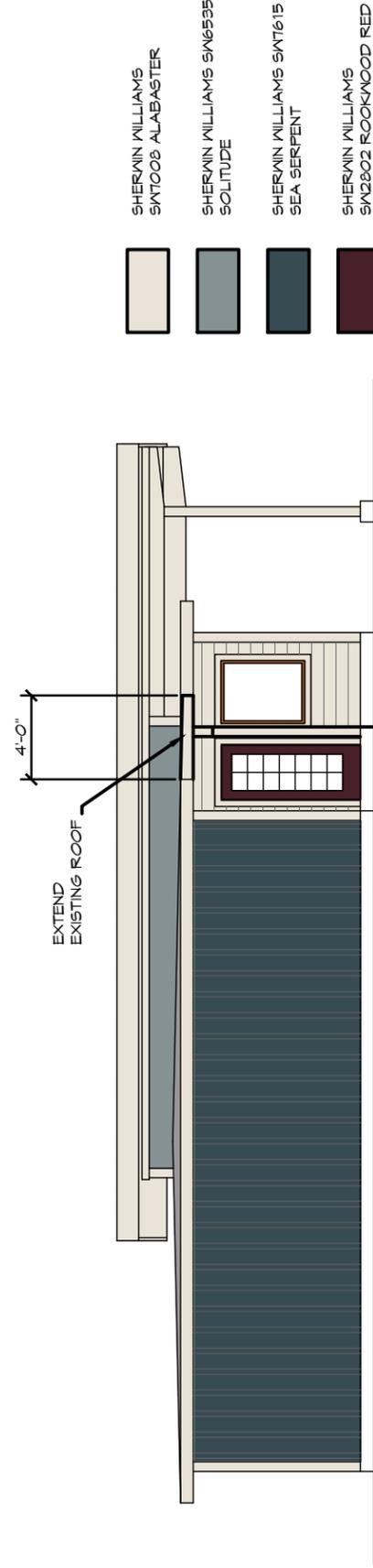
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

4 SCHEMATIC ELEVATIONS

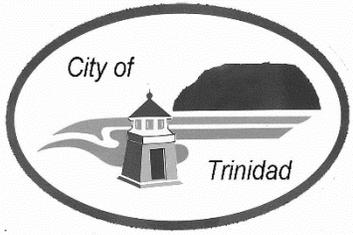
SCALE: 1/8"=1'-0"

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 FOR
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 CHAPPEL**
 APN: 042-102-002
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Filed: September 30, 2019
Staff: Trever Parker
Staff Report: November 6, 2019
Commission Hearing Date: November 20, 2019
Commission Action:

STAFF REPORT: CITY OF TRINIDAD

APPLICATION NO: 2019-11
APPLICANT / OWNER(S): Eric Ketchum
AGENT: Lynda Moran, Property Manager
PROJECT LOCATION: 40 Scenic Drive

PROJECT DESCRIPTION: After-the-fact Coastal Development Permit for interior remodeling of an existing, split-level, 3,505 sq. ft. residence that converted partially finished storage rooms into bedrooms, increasing the number of bedrooms in the main house from two to four. Other work included new seismic protection for existing kerosene tanks, addition of a new hot tub and expansion of the existing septic system. No change in the height or footprint of the existing structure occurred, and no changes to the existing 1-bedroom attached accessory dwelling unit were made.

ASSESSOR'S PARCEL NUMBER: 042-131-006
ZONING: SR - Suburban Residential
GENERAL PLAN DESIGNATION: SR - Suburban Residential
ENVIRONMENTAL REVIEW: Categorically Exempt per § 15301 of the CEQA Guidelines exempting alterations of and additions to existing structures.

APPEAL STATUS: Planning Commission action on a Coastal Development Permit, Variance, Conditional Use Permit, and/or Design Review approval application will become final 10 working days after the date that the Coastal Commission receives a "Notice of Action Taken" from the City unless an appeal to the City Council is filed in the office of the City Clerk at that time. Furthermore, this project is X / ~~is not~~ appealable to the Coastal Commission per the City's certified LCP and may be appealable per Section 30603 of the Coastal Act.

SITE CHARACTERISTICS:

The property is located east of Parker Creek and south and west of Scenic Drive. It is accessed via the private Groth Lane off Scenic Drive. The property is long and narrow, extending to the U.S. Meander Line, or shoreline. The 0.64-acre (27,878 sq. ft.) parcel is currently developed with a 3,505 sq. ft. residence built on three levels, as well as a 1,093 sq. ft. accessory dwelling attached to the primary dwelling by a breezeway. The accessory dwelling has been rented to a long-term tenant, and the primary residence has been operated as a 2-bedroom STR for a number of years. The septic system, which is located in the front yard, north of the house, was recently upgraded to accommodate the additional two bedrooms.

The lot generally slopes down both towards the southwest and northeast from the center of the lot. The existing development is located on the relatively flat portion of the lot at the top of the bluff, and the southwestern portion of the lot slopes more steeply. The majority of the property, including where the development is located, is zoned Suburban Residential (SR) and is mapped as being of questionable stability. Most of the undeveloped portion of the lot is forested with large spruce.

As described on the plans (and as can be verified on-line), the structure was designed and built in 1968-69, by the noteworthy local artist Bruno Groth, and was/is known as the Groth House. Due to the design, the unique materials used, and the fact that it housed a well-known artist and his studio, the property is eligible for designation as an Historical Resource or even an Historical Landmark. According to the current architect the remodel work that has been done is in keeping with the historic elements of the structure and have not affected its eligibility for listing.

The house was built in two wings connected by a breezeway; now the breezeway separates the two independent living units. The original kitchen is located in what is now the second unit. It is likely that a second kitchen was added to the main wing as a matter of convenience for a later owner. The City does not have a record of when this occurred, but Bruno's studio, which is where the second kitchen is, had been converted to living space by around 1980. Without any evidence to the contrary, the City considers the second dwelling unit to be a legal, nonconforming use.

STAFF COMMENTS:

Interior remodeling is generally exempt from Design Review and the requirement for a Coastal Development Permit. Section 17.60.030 exempts "remodeling that does not affect the external profile or appearance of an existing structure" from design review, and §17.72.070 exempts the same work from a Coastal Development Permit. However, increases in living area and/or the number of bedrooms does meet the definition of

development under the Coastal Act, and the City has determined that such projects do not fall under the above exemptions, similar to the conversion of a garage to living space.

Around March or April 2019, as part of the STR license renewal and inspection process, the City became aware that work had occurred on the property without City review or approval. The Building Inspector visited the site to determine the type and extent of work that occurred and concluded that the work required a building permit. However, it was sometimes difficult to determine what the previous condition of the improved spaces was and exactly what improvements had been made. For example, it is likely that the “lower floor” of the primary residence, which is now proposed to be the master bedroom, was fully enclosed and improved at some point after the original construction of the house, but the City does not know when that occurred or how finished it was prior to the current work. Although the primary residence is a licensed STR and has been inspected as such in the past, portions of the structure were excluded from the STR as “owner storage” spaces, so were not inspected. The spaces may have been used as bedrooms at some point in the past, but due to the limited size and poor condition of the septic system, the City would not recognize more than three bedrooms on the property. Therefore, those spaces were not part of the STR inspections.

There were some delays in getting a complete application submitted due to the contractor being hospitalized and family issues of the owner(s) last spring. The contractor submitted a building permit application in May 2019 with preliminary plans/ drawings. In response to a referral, I determined that the project needed a Coastal Development Permit due to the increase in the intensity of use (usable living space and bedrooms), and its location on a coastal bluff. However, the building is complex, and preparing accurate and readable plans was difficult. Therefore, the owner hired a professional architect (also in June 2019) to prepare more detailed plans. That process took time, and the owner has made a good faith effort to bring the property into compliance since the violation was discovered.

As mentioned above, the primary residence has been operating as an STR since before the City started regulating them. The previous owner/STR license holder recently passed away, and his wife took over the management of it for a while. STR licenses can transfer to spouses but not children. The current application is in the son’s name, and the ownership of the property is in a trust with the son’s name. The City does not have information as to how the ownership of the Trust has changed since the STR license was issued. However, there is no wait list for new STRs in the SR zone, so the son can apply for a new STR license in his name, and the ownership status of the trust is a moot point. At this point, the secondary dwelling is vacant, and the owner plans on utilizing the entire structure (both units) as one STR.

Referrals for this project were sent to Public Works, the City Engineer, Building Inspector, County Division of Environmental Health (DEH) and the Coastal Commission. None of them had any comments at this time.

Potential Conflicts of Interest

Commissioner Kelly owns property that is just over 200 ft. from the subject property. There is an assumed monetary conflict of interest for properties within 500 ft. of a project. This distance can be reduced to 300 ft. if certain conditions are met (see November 2008 memo from then City Attorney Paul Hagen). But Commissioner Kelly's property is still closer than 300 ft. Therefore, Commissioner Kelly has an assumed financial conflict of interest on this project. When this occurs, the Commissioner may either recuse him/herself and not vote on the project, or he/she can make a rebuttal to the presumed conflict of interest, and then participate in the hearing and vote on the project.

ZONING ORDINANCE / GENERAL PLAN CONSISTENCY

The subject property is zoned mostly SR – Suburban Residential with a small portion of the southwestern end zoned SE – Special Environment; the developed area is all within the SR portion. The purpose of the SR zone is to allow low-density residential development consistent with any site limitations; single-family residences are a principally permitted use, and second dwelling units are allowed with a Use Permit. The minimum lot size allowed in the SR zone is 20,000 sq. ft. and the maximum density is one dwelling per 20,000 sq. ft. of lot area. The existing lot is approximately 27,880 sq. ft. Therefore, the second unit is nonconforming as to density. The City considers it legal, because it appears to have been converted shortly after the Groth's sold the house in 1978. Because the City does not have good records from that time, the exact date likely cannot be established at this point.

Most of the remodeling work that occurred is exempt from Design Review and a CDP, though not a building permit. However, part of the project included converting some space into new conditioned living space and/or the creation of new bedrooms, which increases the intensity of the use. The existing project square footages are shown in Table 1 and on the application site plan. Since the square footage is not technically changing, a "proposed" column is not included. In addition, I just included floor area by level, because it is broken down by each unit on the site plan.

The maximum height allowed in the SR zone (Zoning Ordinance §17.36.06) is 25 ft., (measured from the average ground level elevation covered by the structure to the highest point of the roof; §17.56.100), except that the Commission may require a lesser height in order to protect views. The height of the roof peak of the existing structure is

approximately 22 ft. as measured from the average ground elevation covered by the structure. No change to the roofline or height is proposed.

TABLE 1 - AREAS

	EXISTING/PROPOSED
LOT AREA	27,880 sq. ft.
FLOOR AREA (1° & 2°units)	
Lower Level	974 sq. ft.
Main Level (w/out garage)	2,434 sq. ft.
Upper Level	770 sq. ft.
Total Residential Floor Area	4,178 sq. ft.
Patios/Driveway/Walkways	2,590 sq. ft.
Garage	420 sq. ft.
Breezeway	591 sq. ft.
Impervious Footprint	6,035 sq. ft.
Deck	1107 sq. ft.
FLOOR TO LOT AREA RATIO	
Total Residence	15.0%
Total Footprint (lot coverage)	21.6%

Setbacks in the SR zone are as follows: Front – 30 ft.; Rear – 20 ft.; and Side – 10 ft. The building envelope is shown on the site plan. The residential structure does not meet either side setback (3 ft. setback on the northwest side and 7 ft. setback on the southeast side). Uncovered decks, balconies, stairways and the like may extend into side yards by 3 ft. The existing deck also extends into the required side setbacks. Section 17.64.010 allows nonconforming structures to be altered, as long as the existing degree of nonconformity is not increased. Because no changes to the structures are proposed, the project complies with these requirements.

The Zoning Ordinance (§ 17.56.180) requires 1.5 spaces per dwelling for attached units. Each parking space is required to be 18’ long and 8.5’ wide. The existing paved driveway can accommodate three parking spaces, the garage can accommodate two spaces, and the gravel driveway can accommodate several more vehicles. Parking requirements are met, and the proposed project will not increase parking requirements.

Some grading and vegetation removal were required to install the new septic system. However, the amount of grading was minimal, because the leachlines follow the existing slope contours. One tree was removed that was likely near 12 inches DBH. Vegetation is already growing back in the disturbed area. And the paved walkway that was removed has been replaced with crushed rock/gravel. This site is already connected to services and utilities, and these will not change. Exterior materials and colors, consisting of natural, weathered wood and glass, will not change.

The Trinidad General Plan and Zoning Ordinance protect importance public coastal views from roads, trails and vista points and private views from inside residences located uphill from a proposed project from significant obstruction. Because the roofline and structural dimensions are not changing there is no potential from the project to block views. Elevations have been provided for this project, and the neighbors have been notified. The structure is visible from the beach, but again, no changes to the exterior are proposed.

Coastal Commission staff have requested that City staff ensure that projects that are located between the sea and the first public road are consistent with the public access policies of the Coastal Act. The public access policies are found in Article 2, sections 30210 to 30214 of the Coastal Act. Nearby public access to the coast is already provided along Groth Lane to the Parker Creek Trail, which accesses Old Home Beach. In addition, Coastal Act policies and Trinidad Zoning Ordinance §17.56.150 require easements along beaches, between the high tide line and the first line of vegetation, for new development. In this case, the property may not extend beyond vegetation on to the beach, because it only extends to the U.S. Meander Line, which is well above the mean high tide line. However, this will need to be determined. This kind of access dedication may become more important as sea level rise affects the width of the beach. The Nash property to the west has such an easement (though it was not surveyed like is required today and does not appear to include any beach based on current information). The Sebring/Kelly property to the west of that was recently determined to not extend past the vegetation onto the beach as part of the redevelopment of that property. The four closest properties to the east are vacant. A condition of approval has been included for an offer of dedication, unless a survey or other information shows that the property does not extend onto the beach.

SLOPE STABILITY:

The project site is mapped as being of “questionable stability” on Plate 3 of the General Plan. The project is located outside of the Alquist-Priolo Fault Zone. Zoning Ordinance §17.28.090 requires that a geologic report be prepared for new development in unstable or questionably stable areas. Although no changes to the structure or foundation are proposed as part of this project, a Coastal Bluff Slope Stability Assessment was conducted to evaluate the potential for slope instability to adversely affect the existing structure. The review found that the structure is built on a relatively level layer of soil on top of a solid bedrock knob (partially buried sea stack). There has been no bluff retreat or changes in the nearby topography since at least the 1950’s. And no evidence of slumping, cracking or settling was found. The conclusion was that the structure is neither subject to, nor will it contribute to slope instability.

SEWAGE DISPOSAL:

When the City first started licensing STRs (VDUs at the time) and requiring current OWTS inspections for all of them, it was determined that this property had no DEH file record, and the system likely utilized a leachpit. The owner agreed to upgrade the system. But DEH staff did not think there was much room for a repair, so only one 30-foot leachline was installed. For this project, the applicant hired a professional to make a more detailed site investigation and design an upgrade for the system. Appropriate soils and site conditions were found for two additional 60-foot leachlines. In addition, a new 1,500-gallon tank was added in line with the existing 1,200-gallon tank. A reserve area was also located. DEH has determined that the system is sized appropriately for the proposed use, and the system was installed in accordance with DEH regulations.

Some grading and vegetation disturbance occurred in order to construct the septic system. One tree that was likely near 12 in. DBH was removed. In addition, an existing walkway had to be dug up for equipment access, and has been replaced by gravel.

A deed restriction limiting the property to five bedrooms and two residential units has been included as a standard condition of approval. The project is consistent with the City's OWTS Management Program and DEH requirements.

LANDSCAPING AND FENCING:

This project does not involve any new landscaping or fencing.

FINDINGS:

The project is not exempt from a CDP (§17.72.070.C), but the City does not have a set of findings for a project that only needs a Coastal Development Permit (CDP) and not a Use Permit, Variance, or Design Review. A CDP still requires an analysis of the project's consistency with the standards in the City's certified LCP, which is included above. Although this project does not require a Use Permit (unless possibly if the tree removed to construct the septic system was more than 12 inches DBH, but that was already included in the DEH OWTS Modification permit), the use permit findings are more applicable to this project than the design review findings, so I used those instead. The required findings are written in a manner to allow approval, without endorsing the project. However, if conflicting information is submitted at the public hearing or public comment received indicating that one or more findings can't be made, then the findings should be reworded accordingly.

- A. *The proposed use at the site and intensity contemplated and the proposed location will provide a development that is necessary or desirable for and compatible with the neighborhood or the community.* Response: The proposed project includes converting existing spaces into more usable living space with two additional bedrooms. These spaces may have been used as bedrooms in the past, and five bedrooms is consistent with the existing, substantial floor area of the residence. No changes to the size of the structure or density are proposed.
- B. *Such use as proposed will not be detrimental to the health, safety, convenience, or general welfare of persons residing or working in the vicinity or injurious to property improvements or potential development in the vicinity with respect to aspects including but not limited to the following:*
1. *The nature of the proposed site, including its size and shape, and the proposed size, shape and arrangement of structures;* Response: The proposed project likely improved health and safety conditions on the property by expanding the existing septic system. There is no reason the project would be a detriment to the neighborhood as no structural changes occurred. But the neighbors were notified and provided an opportunity to comment.
 2. *The accessibility of the traffic patterns for persons and vehicles, and the type and volume of such traffic, and the adequacy of proposed off-street parking and loading;* Response: The proposed project will not affect traffic patterns. The volume of traffic could increase slightly, because the capacity of the STR will increase. But the roadway and parking are adequate to accommodate additional traffic.
 3. *The safeguards afforded to prevent noxious or offensive emissions such as noise, glare, dust and odor;* Response: The hot tub is proposed to be moved in order to reduce noise impacts to the neighbor to the northeast. The property manager has installed a noise meter on the property to ensure that guests are not too noisy.
 4. *Treatment given, as appropriate, to such aspects as landscaping, screening, open space, parking and loading areas, service areas, lighting and signs;* Response: None of these will change as a result of the project. Many of these issues area also addressed in the City's STR Ordinance.
- C. *That such use or feature as proposed will comply with the applicable provisions of this title, will be consistent with the policies and programs of the general plan and will assist in carrying out and be in conformity with the Trinidad coastal program.* Response: As discussed above, under the "Zoning Ordinance / General Plan Consistency

section, the proposed tree removal can be found to be consistent with the City's Zoning Ordinance, General Plan and Local Coastal Program.

- D. *That the proposed use or feature will have no significant adverse environmental impact or there are no feasible alternatives, or feasible mitigation measures, as provided in the California Environmental Quality Act, available which would substantially lessen any significant adverse impact that the actions allowed by the conditional use permit may have on the environment.* Response: The project is Categorically Exempt from CEQA per § 15301 of the CEQA Guidelines exempting alterations of and additions to existing structures. No exceptions apply to the project, and no environmental impacts are anticipated.
- E. *When the subject property is located between the sea and the first public road paralleling the sea or within three hundred feet of the inland extent of any beach or of the mean high tide line where there is no beach, whichever is the greater, that:* Response: The project is located between the sea and the first public road, therefore the following findings are applicable.
1. *The development provides adequate physical access or public or private commercial use and does not interfere with such uses.* Response: A public trail easement already exists along Groth Lane. An easement for public access along the beach will be required if the property includes the beach.
 2. *The development adequately protects public views from any public road or from a recreational area to, and along, the coast.* Response: Because no structural changes are proposed, views will not be impacted.
 3. *The development is compatible with the established physical scale of the area.* Response: No structural changes are proposed, so the scale will not change.
 4. *The development does not significantly alter existing natural landforms.* Response: The project does not require grading, except for some minor grading that was required to install the new leachlines.
 5. *The development complies with shoreline erosion and geologic setback requirements.* Response: A geologic report was prepared for this project and found that the project will not increase instability or be subject to instability.

STAFF RECOMMENDATION

Based on the above analysis, the project can be found to be consistent with the City's Zoning Ordinance, General Plan, Coastal Act, and other applicable policies and regulations. Therefore, the necessary findings for granting approval of the project can be made. If the Planning Commission agrees with staff's analysis, a proposed motion might be similar to the following:

Based on application materials and information included in this Staff Report, and based on public testimony, I move to adopt the information and findings in this staff report and approve the project as submitted in the application, and described in this staff report, and as conditioned herein.

PLANNING COMMISSION ALTERNATIVES

If the Planning Commission does not agree with staff's analysis, or if information is presented during the hearing that conflicts with the information contained in the staff report, the Planning Commission has several alternatives.

- A. Add conditions of approval to address any specific concerns on the part of the Commission or the public.
- B. Delay action / continue the hearing to obtain further information.
 - In this case, the Planning Commission should specify any additional information required from staff or the applicant and / or suggestions on how to modify the project and / or conditions of approval.
- C. Denial of the project.
 - The Planning Commission should provide a motion that identifies the Finding(s) that cannot be made and giving the reasons for the inability to make said Finding(s).

CONDITIONS OF APPROVAL

1. The applicant is responsible for reimbursing the City for all costs associated with processing the application. *Responsibility: City Clerk prior to building permits being issued.*
2. Based on the findings that community values may change in a year's time, approval of this Design Review is for a one-year period starting at the effective date and expiring thereafter unless the project has been initiated through issuance of a building permit or an extension is requested from the Planning Commission prior to that time. *Responsibility: City Clerk prior to building permits being issued.*

3. Construction related activities are to occur in a manner that incorporates storm water runoff and erosion control measures as necessary in order to protect water quality considerations near the bluffs. Specific water quality goals include, but are not limited to:
 - a. Limiting sediment loss resulting from construction
 - b. Limiting the extent and duration of land disturbing activities
 - c. Replacing vegetation as soon as possible
 - d. Maintaining natural drainage conditions

Responsibility: Building Inspector to confirm prior building permits being issued and during construction.
4. The applicant is responsible for submitting proof that a statement on the deed, in a form approved by the City Attorney, has been recorded indicating that any increase in the number of bedrooms above a total of five bedrooms, or number of dwelling units above two, will require City approval of adequate sewage disposal capabilities and other applicable standards. *Responsibility: Building Inspector to verify prior to building permits being issued.*
5. Construction related activities are to occur in a manner that will not impact the integrity of the septic system. The leachfield area shall be staked and flagged to keep equipment off the area. Alternatively, a written description of techniques/timing to be utilized to protect the system will be required from the contractor. If the proposed system area is impacted by construction activities, an immediate Stop-Work Order will be placed on the project. The contractor will be required to file a mitigation report for approval by the City and DEH prior to permitting additional work to occur. *Responsibility: Building Inspector to verify prior to building permits being issued and during construction.*
6. Recommended conditions of the City Building Inspector shall be required to be met as part of the building permit application submittal. Grading, drainage and street improvements will need to be specifically addressed at the time of building permit application. *Responsibility: Building Inspector prior to building permits being issued.*
8. The applicant shall offer a dedication of public access easement for the right to pass and repass along the shoreline, between the mean high tide line and the first line of terrestrial vegetation, or 25 feet, whichever is greater, unless the applicants can show that their property does not extend on to the beach below the first line of vegetation. *Responsibility: City Clerk to verify prior to final project sign off.*

ATTACHMENTS

- Geotech Report (three pages)
- Plans (five 11" x 17" pages)



Reference: 019048

October 23, 2019

Trever Parker, City Planner
City of Trinidad
P.O. Box 390
Trinidad, CA 95570

Subject: Coastal Bluff Slope Stability Assessment for an Existing Residence, Groth House, 40 Scenic Drive, Trinidad; APN 042-131-006

Dear Trever:

On behalf of the project site owner, Mr. Eric Ketchum, SHN is submitting the following qualitative coastal bluff stability assessment report pertaining to the permitting of the existing residence at the above-referenced parcel. SHN recently performed a septic suitability field investigation and provided a design of a new wastewater disposal system to upgrade the undersized disposal system that formerly served the residence. The new disposal system upgrades have since been constructed and are currently in use.

Introduction

This report presents the results of a focused coastal bluff stability assessment for the existing residence known locally as the "Groth" house. The residence was originally constructed in 1968 by Bruno Groth from rough-hewn redwood timbers supported by a concrete foundation. The structure includes an attached garage, a main residence, and secondary unit. The main residence and secondary unit are connected by a breezeway. An exterior wood deck runs the length of the entire structure along its south edge, encompassing both the main residence and secondary unit.

The primary purpose of our site assessment was to evaluate the potential for slope instability to adversely affect the existing residential structure. The investigation was conducted to satisfy the City of Trinidad's land use ordinances regarding development of coastal bluff properties and has been conducted in general accordance with accepted engineering geologic standards related to qualitative slope stability assessments. The scope of work included: a) review of published geologic mapping and aerial imagery, b) performing a geologic field reconnaissance of the site vicinity, c) conducting a reconnaissance-level assessment of subsurface conditions at the site based on natural and man-made exposures, and d) preparation of this report.

Based on the current geologic conditions of the project site, it is our professional opinion that the existing residence in its current location is not subject to unreasonable risk of damage from active landsliding.

Field Investigation

The primary purpose of the investigation is to determine if the existing residential development is safely constructed at the site such that it is safeguarded from

unreasonable risk from geologic hazards. A Certified Engineering Geologist with extensive experience in the Trinidad area conducted multiple site visits during May and September 2019 to qualitatively assess slope stability conditions.

A site reconnaissance of the property and surrounding bluff area was conducted with the aid of aerial imagery to assess existing slope conditions, with the intent of identifying any adverse conditions that could affect the existing development.

Geologic Conditions

Bedrock in Trinidad Bay and directly underlying the subject parcel consists of Central Belt Franciscan Complex. Franciscan Complex bedrock is a tectonically sheared assemblage consisting of isolated blocks of very hard and resistant coherent rock floating in a highly erodible matrix of pervasively sheared, deeply weathered, and clay-rich argillite. The resistant, isolated rock blocks are predominately composed of greenstone, metamorphosed basalt, and graywacke sandstone. These blocks range from boulder-size to Trinidad Head-size in maximum dimension. The precipitously steep cliff face exposed in the bluff below the residence and to the east of Parker Creek is an example of a large, resistant, and coherent bedrock block. At this location the block of bedrock begins at Parker Creek and continues east along the back edge of the beach for approximately 250 feet, and upslope for a height of approximately 95 feet.

Common slope failure mechanisms along the shoreline of Trinidad Bay include a combination of slumps and earthflows. These types of failures occur wherever the clay-rich matrix of the *mélange* bedrock is exposed to undercutting by wave and tidal action. As a result, the matrix material mobilizes seaward leaving a concentration of resistant boulders within the tidal zone. Slope movements associated with earthflow activity generally occur at very low rates on the order of inches per year, with the greatest slope movement occurring during the winter and spring months when pore water pressures within the *mélange* matrix are highest.

The locations of active earthflows around the shoreline of Trinidad Bay are readily identifiable by the dense concentration of large boulders at the base of the coastal bluffs. Examples include the slopes above Boat Launch Beach and Old Home Beach west of the Axel Lindgren Memorial Trail, the stretch of shoreline encompassing the Trinidad Rancheria, and the slopes between the north end of Baker Beach and Houda Point (Camel Rock) to the south.

Our field observations indicate the project site to be underlain entirely by coherent bedrock that extends below the elevation of the beach. No clay-rich matrix is present within the limits of the project site, which accounts for the lack of earthflows or slumps in the project vicinity.

Slope Stability Conditions

The residential structure and exterior deck are located on an elevated and relatively broad, coherent, hard bedrock knob. The top of the bedrock knob is overlain by a thin veneer of marine terrace deposits which forms a relatively level surface on which the structure was constructed. The descending slopes



surrounding the site are relatively gentle toward the west and north, and moderately to precipitously steep toward the east and south (seaward). Based on the existing slope morphology and surface conditions at the project site, no localized or landscape-scale landslide features are present that could affect the developments in an adverse manner.

A review of stereo-pair aerial photographs indicates that the slopes encompassing the parcel have remained unchanged and unaffected by slope movements dating back to at least 1958. Visible in the 1958 aerial photographs are the lower sections of the Parker Creek trail, which remains in its original location, indicating that no bluff retreat has occurred since that time. In general, the slopes and ground surfaces surrounding the residence display smooth and rounded slope morphology, and lack evidence of recent or dormant landsliding. At the time of the field investigation, we did not observe the presence of head scarps, ground cracks, bedrock fissures or any other features (such as, denuded bare soil areas and landslide debris deposits) that are indicative of recent or incipient slope movements. Vegetation on the slopes adjacent to the residence consists of well-established and mature conifer and redwood. The older mature trees were observed to be upright and straight standing, which is interpreted to reflect the relatively stable slope configurations surrounding the residence. The residential structure appears to have remained level and plumb throughout its lifespan. No visible sign of foundation distress or differential settlement is apparent.

Conclusions

Based on our site reconnaissance, assessment of geologic conditions, and review of aerial imagery, we conclude that the existing residential structure is located so as to neither be subject to, nor contribute to slope instability. Existing developments on the parcel have not been impacted by landsliding during the past and do not appear to be located in an area associated with coastal bluff retreat.

Please call me at (707) 441-8855 if you have any questions.

Sincerely,

SHN



Giovanni Vadurro, CEG
Engineering Geologist

GAV:lam





VICINITY MAP NOT TO SCALE



PRELIMINARY - NOT FOR CONSTRUCTION

K. BOODJEH ARCHITECTS
 ARCHITECTURE AND PLANNING
 707.796.6107 551 5RD STREET EUREKA CA 95501

SCOPE OF WORK

SITE WORK: SHN DESIGNED DEH APPROVED 5 BEDROOM SEPTIC SYSTEM UPGRADE, NEW HOT TUB W/ CONC. FOUNDATION, ADDED CONC. FOUNDATION AND EARTHQUAKE PROOFING AND PROTECTION TO EXISTING KEROSENE TANKS.

SEPTIC SYSTEM UPGRADE:
 - SHN DESIGNED AND APPROVED BY DEH.
 - UPGRADE TO KEEP EXISTING 1200 GAL. TANK AND 30" LEACH LINE W/ ADDITION OF 1500 GAL. AND 120" IN LEACH LINES (TOTAL 150" LEACH LINES).
 - UPGRADE ALLOWS CHANGE OF USE TO INCLUDE PROPOSED 5 BEDROOMS (SEE ATTACHED SHN WASTE WATER DISPOSAL SYSTEM MODIFICATION DOCS).
 - 5 BEDROOMS EXISTED IN ORIGINAL 1969 CONSTRUCTION WITH EXISTING SEPTIC SYSTEM (1200 GAL. TANK W/ 30" LEACH LINE). UNDER CURRENT STANDARDS, EXISTING SEPTIC ONLY ALLOWED FOR 3 BEDROOMS. HENCE, USE OF TWO BEDROOM AREAS WAS CHANGED TO "OWNER STORAGE" USE TO COMPLY WITH CURRENT STANDARDS.
 - OWNER PROACTIVELY UPGRADED SEPTIC SYSTEM TO CURRENT SEPTIC / BEDROOM SIZE STANDARDS.

INTERIOR WORK: REMODEL OF KITCHEN AND BATHS W/ NEW APPLIANCES AND FIXTURES, REPLACEMENT / REPAIR OF EXISTING WINDOWS (NO NEW WALL OPENINGS CREATED), NEW KEROSENE HEATER IN MASTER BEDROOM AND REPLACEMENT / RELOCATION OF EXISTING KEROSENE HEATERS. CHANGE IN USE FROM EXISTING "OWNER STORAGE" TO MASTER BEDROOM (BEDROOM #4) AND BEDROOM #5 (PER 5 BEDROOM SEPTIC UPGRADE INSTALLED AND APPROVED BY DEHHS).

CHANGE OF USE DESCRIPTION:
 - EXISTING "OWNER STORAGE" USE TO BEDROOM USE (MASTER BEDROOM / BEDROOM #4 AND BEDROOM #5).
 - EXISTING 1969 CONSTRUCTION NOT CONSISTENT WITH CURRENT DOWTS STANDARDS.
 - UPGRADED SEPTIC SYSTEM ALLOWS FOR 5 BEDROOMS AND PROPOSED CHANGES OF USE.

NO NEW SQUARE FOOTAGE, WALLS, OR STRUCTURAL ELEMENTS. REMODEL OF EXISTING STRUCTURE ONLY.

PROJECT INFORMATION

PROJECT ADDRESS:	40 SCENIC DRIVE, TRINIDAD, CA 95670
ASSESSOR'S PARCEL NO:	042-128 006
LAND USE DESIGNATION:	SR - SUBURBAN RESIDENTIAL
ZONE:	SR - SUBURBAN RESIDENTIAL
IN COASTAL ZONE:	Y
COASTAL JURISDICTION:	A
IN 100 YEAR FLOOD ZONE:	N
ALQUIST PRIOLO ZONE:	N
RELATIVE SLOPE STABILITY:	S
AFFORD COMPATIBILITY ZONE:	N
STATE FIRE RESPONSIBILITY AREA:	N
LOT SIZE:	0.64 ACRES (27,978 SF)
SETBACKS:	
FRONT	30'-0"
SIDE (INTERIOR)	10'-0"
SIDE (STREET)	15'-0"
REAR	20'-0"
RECOMMENDED GROUND COVERAGE:	10% (2,788 SF)
MAX ALLOWED HEIGHT:	25'-0"
MAX BUILDING HEIGHT:	22'-0" (FROM AVG. GRADE ELEV.)
SQUARE FOOTAGES:	
LOWER LEVEL	466 SF
MAIN LEVEL	2,268 SF
UPPER LEVEL	770 SF
TOTAL:	3,506 SF
ATTACHED SECOND UNIT LOWER LEVEL	508 SF
ATTACHED SECOND UNIT MAIN LEVEL	508 SF
TOTAL:	1,016 SF
TOTAL FOOTPRINT:	2,854 SF

DESIGNATION AS A LANDMARK:
 THE ENTIRE STRUCTURE, MAIN HOUSE AND ATTACHED SECONDARY DWELLING UNIT, WERE BUILT IN 1969. THE DESIGN, ITS DESIGNER, LOCATION, MATERIALS USED, THE STYLE AND TYPE OF CONSTRUCTION AS KNOWN TO ALL THE REGION'S RESIDENTS IS HIGHLY UNIQUE AND NOTABLE. THE REPAIR AND REPLACEMENT WORK DONE TO DATE, AS DESCRIBED ABOVE, IS INKEEPING WITH THE ORIGINAL DESIGN INTENT RESULTING IN THE PROPERTY AND ITS STRUCTURES BEING ELIGIBLE FOR AN AFFILIATION TO BE LISTED AS AN ARCHITECTURAL. RECORD PER STATE AND FEDERAL. CRITERIAS NOTED BELOW.

CALIFORNIA OFFICE OF HISTORIC PRESERVATION:
 TO BE ELIGIBLE FOR DESIGNATION AS A LANDMARK, A RESOURCE MUST MEET AT LEAST ONE OF THE FOLLOWING CRITERIA:
 1) THE FIRST, LAST, ONLY, OR MOST SIGNIFICANT OF ITS TYPE IN THE STATE OR WITHIN A LARGE GEOGRAPHIC REGION (NORTHERN, CENTRAL, OR SOUTHERN CALIFORNIA).
 2) ASSOCIATED WITH AN INDIVIDUAL OR GROUP HAVING A PROFOUND INFLUENCE ON THE HISTORY OF CALIFORNIA.
 3) A PROTOTYPE OF, OR AN OUTSTANDING EXAMPLE OF, A PERIOD, STYLE, ARCHITECTURAL MOVEMENT OR CONSTRUCTION OR IS ONE OF THE MORE NOTABLE WORKS OR THE BEST SURVIVING WORK IN A REGION OF A PIONEER ARCHITECT, DESIGNER OR MASTER BUILDER.
https://ohp.parks.ca.gov/?page_id=21747

SITE PLAN KEY

	PROJECT SITE PROPERTY LINE
	SETBACK
	PROPERTY LINE
	FENCE
	SEPTIC LINES
	LEACH LINES
	TOP OF SLOPE
	TOE OF SLOPE
	BUILDING
	DECK AREA
	EQUIPMENT
	GRAVEL
	LANDSCAPE AREA
	PAVING
	WATER
	(E) TREE

PROJECT TEAM

OWNER:	ERIC KETCHUM SMITH ADKON KETCHUM III TRUST P.O. BOX 1190, TRINIDAD CA 94920
AGENT:	LYNDA MORAN PO BOX 806, TRINIDAD, CA 95670 707.848.1144

SHEET INDEX

TYPE	SHEET	TITLE
ARCHITECTURAL	A1.1	SITE PLAN
	A1.2	EXISTING FLOOR PLANS
	A1.3	NEW FLOOR PLANS
	A2.1	ELEVATIONS
	A3.1	DOOR & WINDOW SCHEDULES

SECRETARY OF INTERIOR'S STANDARDS FOR EVALUATION (FED'S):
 1) A PROPERTY IS CLASSIFIED AS TO THE APPROPRIATE HISTORIC CONTEXT(S) AND PROPERTY TYPE(S). IF NO EXISTING PROPERTY TYPE IS APPROPRIATE, A NEW PROPERTY TYPE IS DEFINED, ITS VALUES IDENTIFIED, AND THE SPECIFIC CHARACTERISTICS OR DATA REQUIREMENTS ARE OUTLINED AND JUSTIFIED AS AN ADDITION TO THE HISTORIC CONTEXT. IF NECESSARY, A NEW HISTORIC CONTEXT IS DEFINED FOR WHICH VALUES AND PROPERTY TYPES AND THEIR INTEGRITY REQUIREMENTS ARE IDENTIFIED AND JUSTIFIED.
 2) A COMPARISON IS MADE BETWEEN THE EXISTING INFORMATION ABOUT THE PROPERTY AND THE INTEGRITY CHARACTERISTICS OR DATA REQUIRED FOR THE PROPERTY TYPE.
 3) IF THE COMPARISON SHOWS THAT THE PROPERTY POSSESSES THESE CHARACTERISTICS, THEN IT IS EVALUATED AS SIGNIFICANT FOR THAT HISTORIC CONTEXT. THE EVALUATION INCLUDES A DETERMINATION THAT THE PROPERTY RETAINS INTEGRITY FOR ITS TYPE.
 4) IF THE COMPARISON SHOWS THAT THE PROPERTY DOES NOT MEET THE MINIMUM REQUIREMENTS, ONE OF SEVERAL CONCLUSIONS IS REACHED:
 1. THE PROPERTY IS DETERMINED NOT SIGNIFICANT BECAUSE IT DOES NOT RETAIN THE INTEGRITY DEFINED FOR THE PROPERTY TYPE.
 2. THE PROPERTY HAS CHARACTERISTICS THAT MAY MAKE IT SIGNIFICANT BUT THESE DIFFER FROM THOSE EXPECTED FOR THAT PROPERTY TYPE IN THAT CONTEXT. IN THIS CASE, THE HISTORIC CONTEXT OR PROPERTY TYPES SHOULD BE REEXAMINED AND REVISED IF NECESSARY, BASED ON SUBSEQUENT RESEARCH AND SURVEY.
https://www.nps.gov/history/local-law/arch_etnds_3.htm#proc

GROTH HOUSE
 ERIC KETCHUM
 40 SCENIC DRIVE, TRINIDAD, CA 95670
 A.P.N. 042-151-006

PROJECT INFO.
 SITE PLAN

REVISIONS
 DATE: 30 SEPTEMBER 2019
 SHEET: A1.1



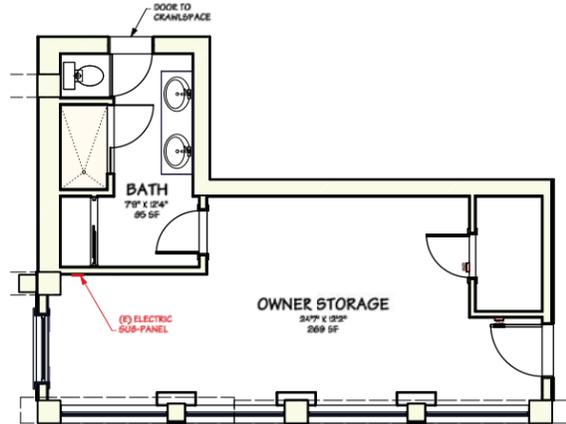
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5 (E) ATTACHED SECOND UNIT LOWER FLOOR PLAN
Scale: 3/16" = 1'-0"



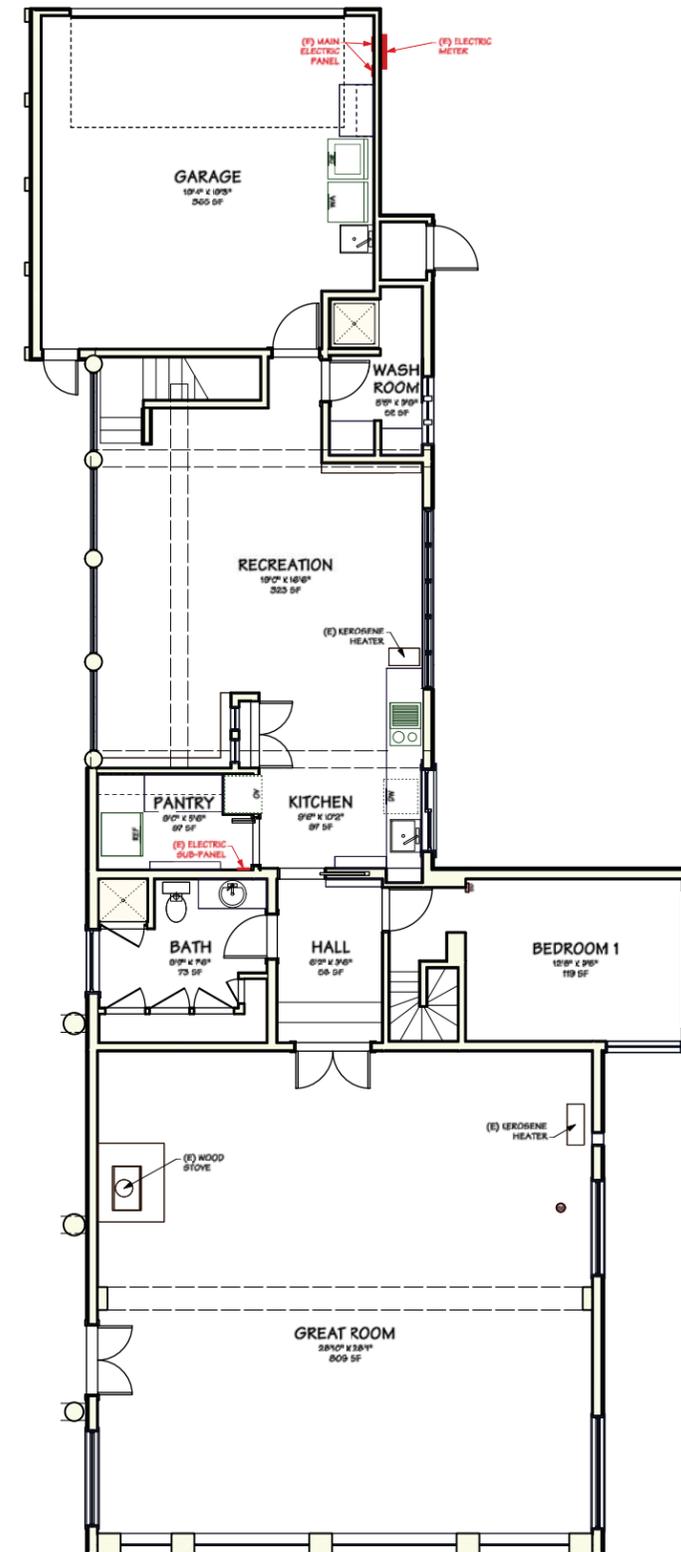
4 (E) ATTACHED SECOND UNIT MAIN FLOOR PLAN
Scale: 3/16" = 1'-0"



3 (E) LOWER FLOOR PLAN
Scale: 3/16" = 1'-0"



2 (E) UPPER FLOOR PLAN
Scale: 3/16" = 1'-0"



1 (E) MAIN FLOOR PLAN
Scale: 3/16" = 1'-0"

K. BOODJEH ARCHITECTS
ARCHITECTURE AND PLANNING
707.796.6107 551 3RD STREET EUREKA CA 95501

GROTH HOUSE
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A.P.N. 042-151-006

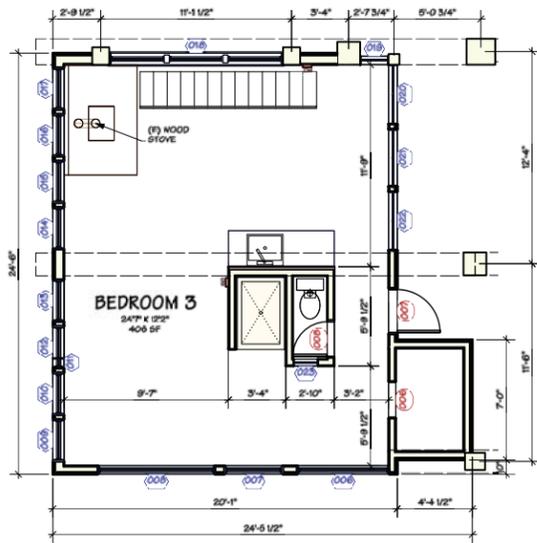
EXISTING FLOOR PLANS
NOTE: DRAWINGS ARE HALF SCALE WHEN PRINTED AT 11x17

REVISIONS

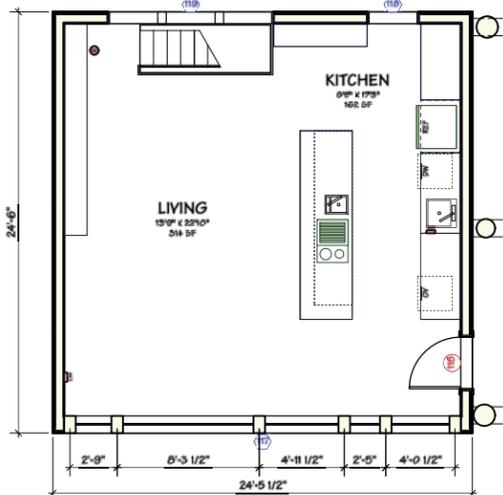
DATE: 30 SEPTEMBER 2019

SHEET

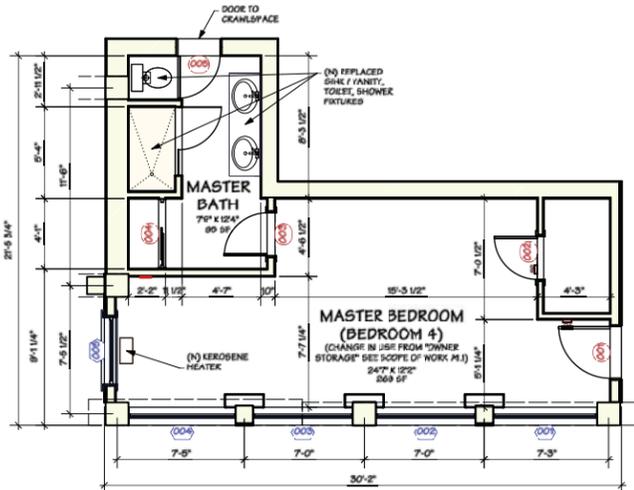
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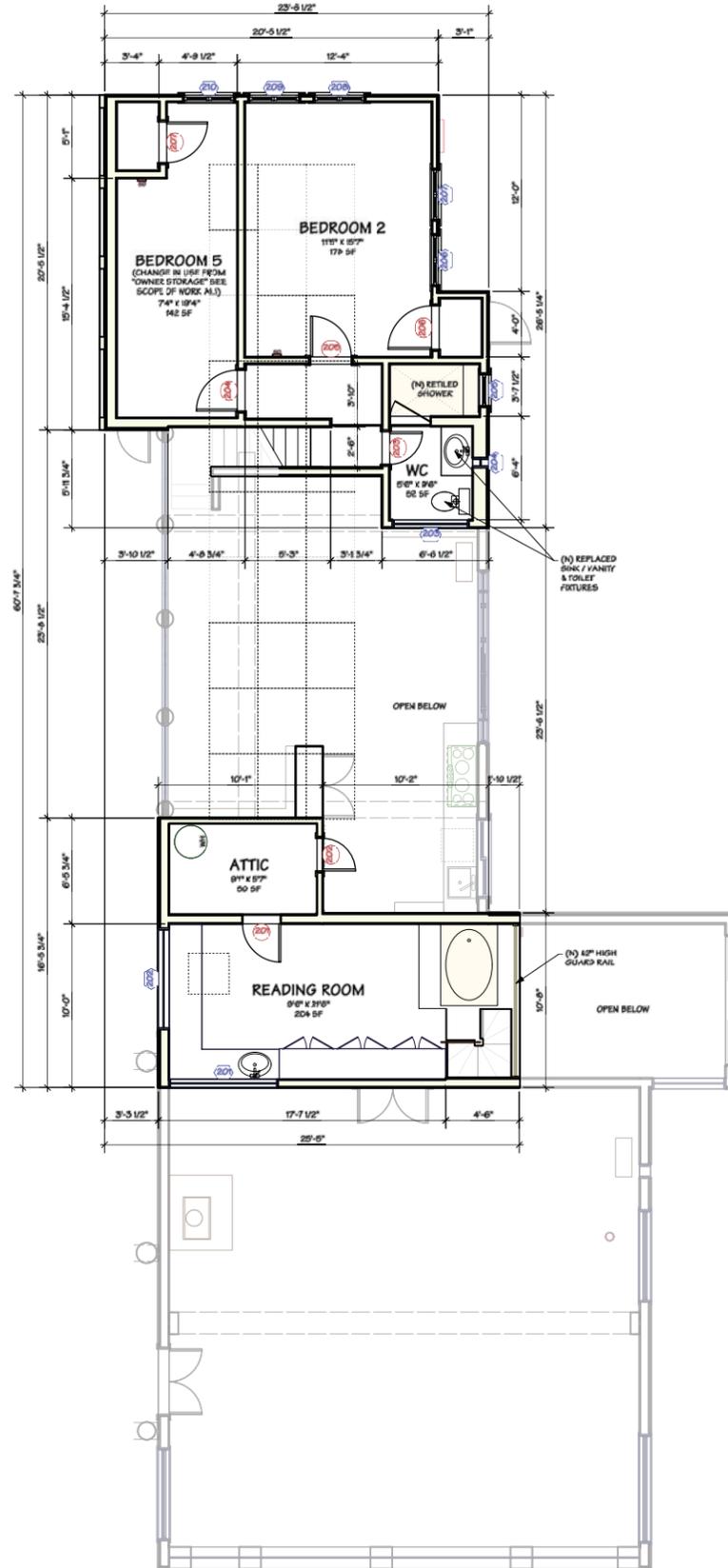
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Scale: 3/16" = 1'-0"



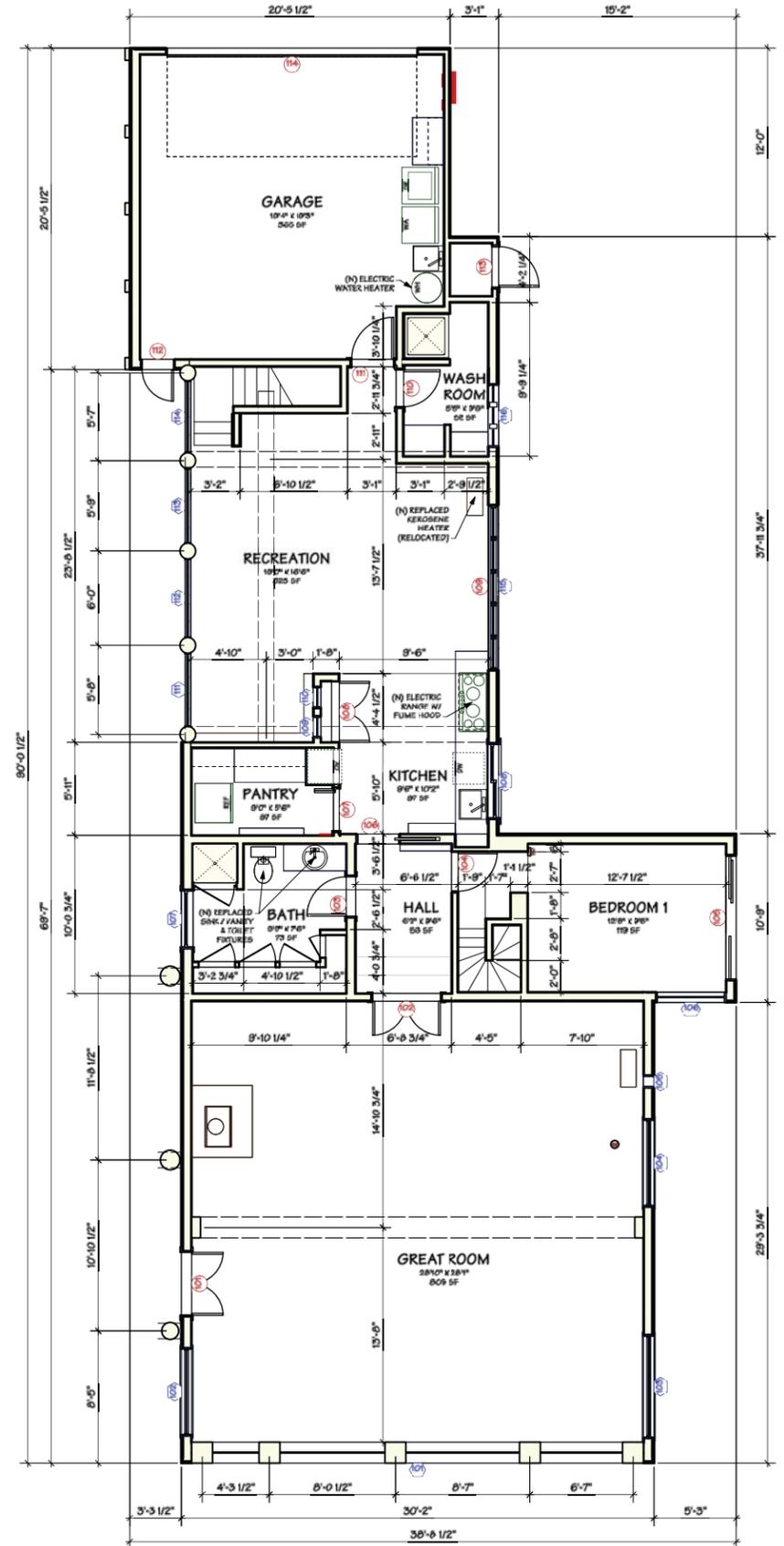
4 (N) ATTACHED SECOND UNIT MAIN FLOOR PLAN
Scale: 3/16" = 1'-0"



3 (N) LOWER FLOOR PLAN
Scale: 3/16" = 1'-0"



2 (N) UPPER FLOOR PLAN
Scale: 3/16" = 1'-0"



1 (N) MAIN FLOOR PLAN
Scale: 3/16" = 1'-0"



PRELIMINARY - NOT FOR CONSTRUCTION

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GROTH HOUSE
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A.P.N. 042-151-006

NEW FLOOR PLANS
NOTE: DRAWINGS ARE HALF-SCALE WHEN PRINTED AT 1/4"

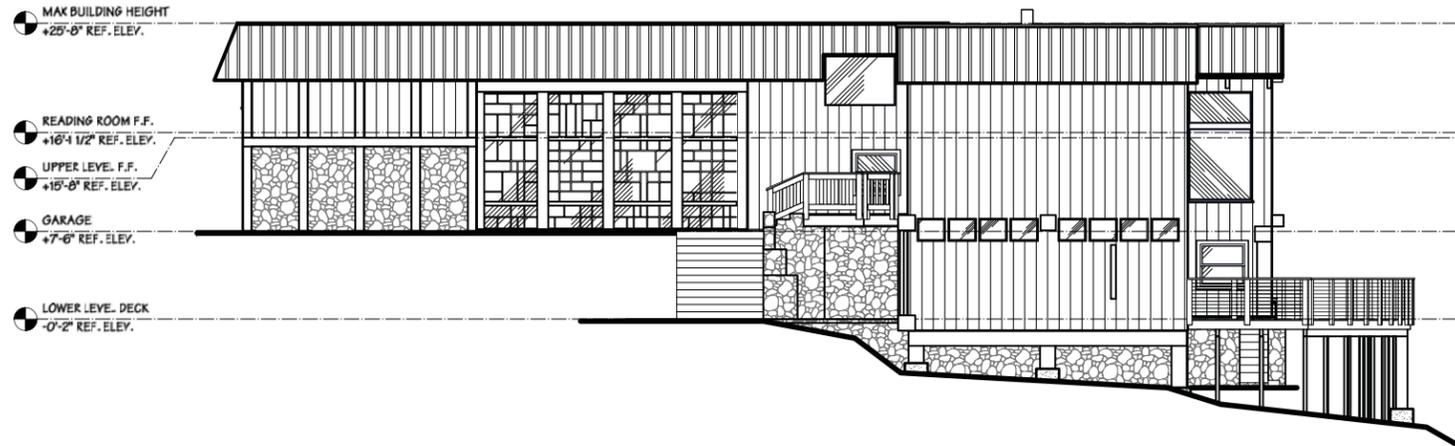
REVISIONS

DATE
30 SEPTEMBER 2019

SHEET

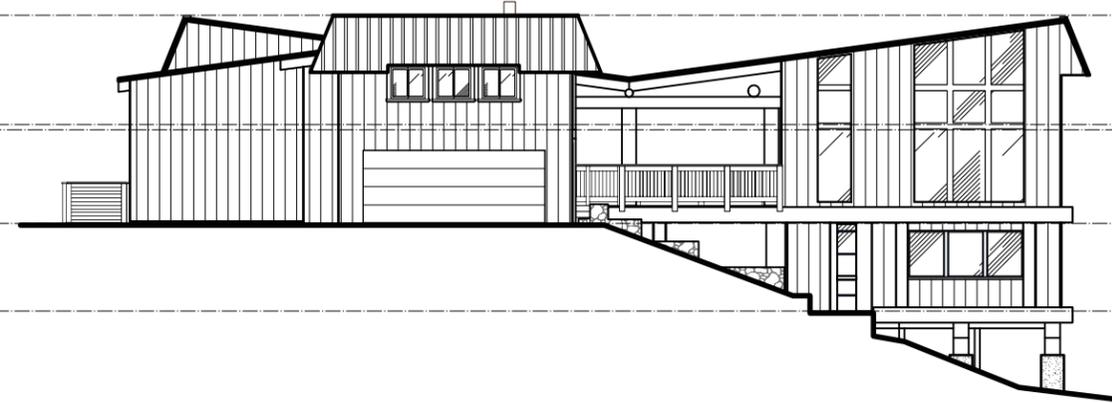
A1.3

PRELIMINARY -
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CONSTRUCTION

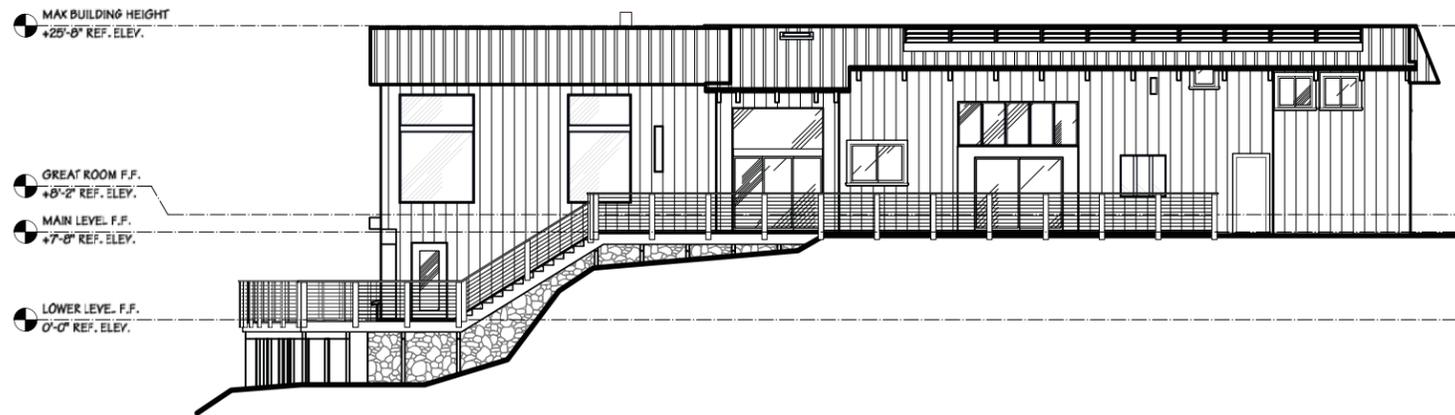


- MAX BUILDING HEIGHT
+25'-8" REF. ELEV.
- READING ROOM F.F.
+16'-4 1/2" REF. ELEV.
- UPPER LEVEL F.F.
+15'-8" REF. ELEV.
- GARAGE
+7'-6" REF. ELEV.
- LOWER LEVEL DECK
0'-0" REF. ELEV.

4 WEST ELEVATION
Scale: 1/8" = 1'-0"

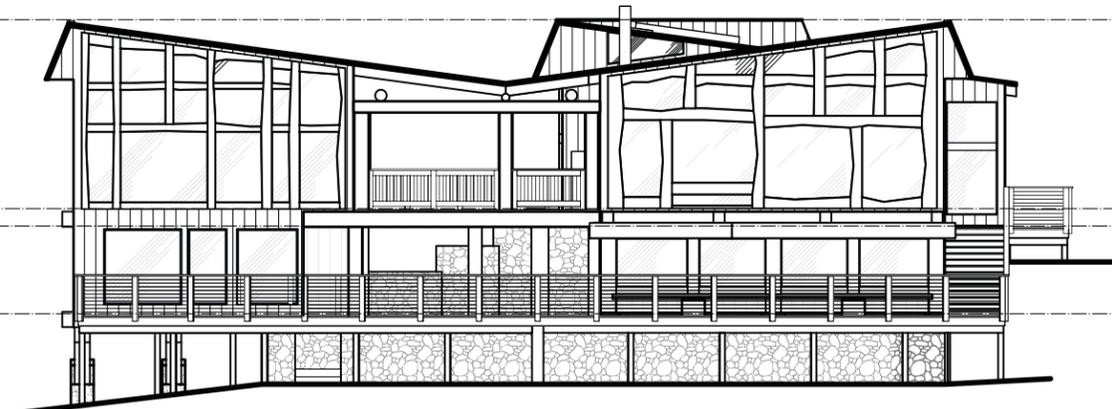


2 NORTH ELEVATION
Scale: 1/8" = 1'-0"



- MAX BUILDING HEIGHT
+25'-8" REF. ELEV.
- GREAT ROOM F.F.
+8'-2" REF. ELEV.
- MAIN LEVEL F.F.
+7'-8" REF. ELEV.
- LOWER LEVEL F.F.
0'-0" REF. ELEV.

3 EAST ELEVATION
Scale: 1/8" = 1'-0"



1 SOUTH ELEVATION
Scale: 1/8" = 1'-0"

K. BOODJEH ARCHITECTS
ARCHITECTURE AND PLANNING
707-796-6107 551 5RD STREET EUREKA CA 95501
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A.P.N. 042-151-006

ELEVATIONS

NOTE: DRAWINGS ARE HALF SCALE WHEN PRINTED AT 1/4"

REVISIONS

DATE
30 SEPTEMBER 2019

SHEET

A2.1

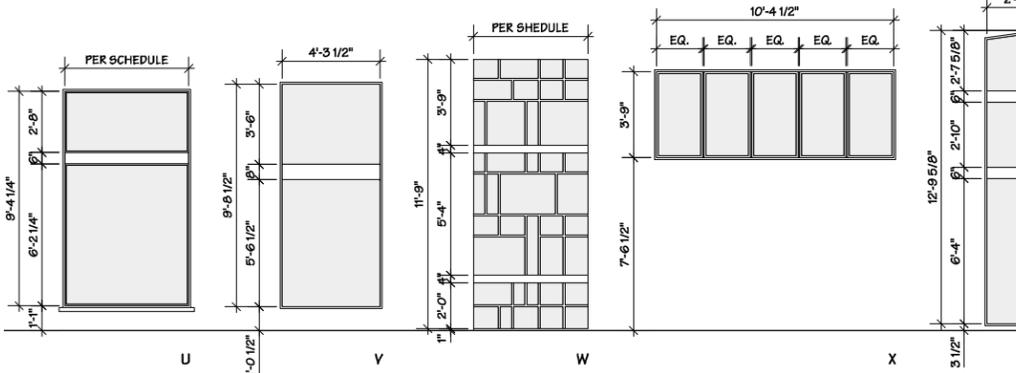
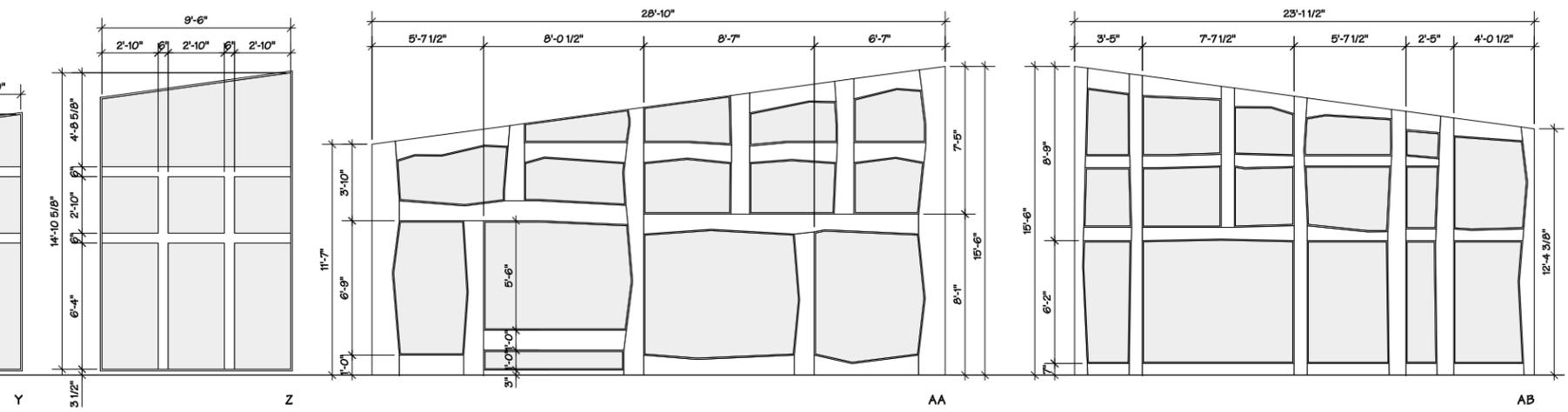
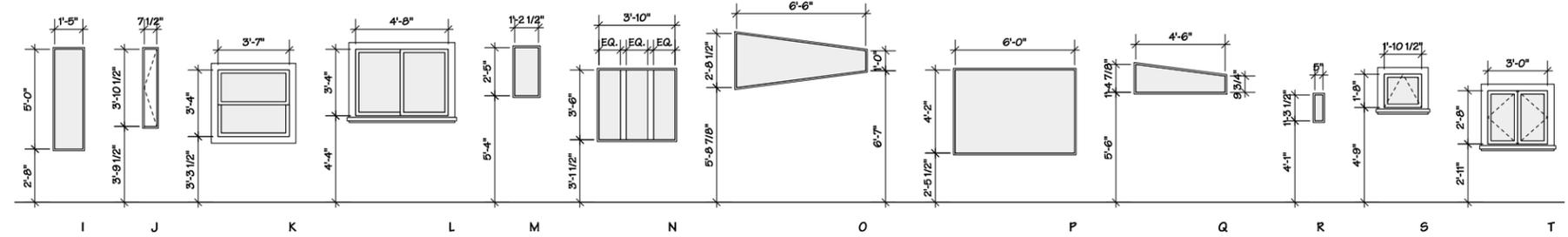
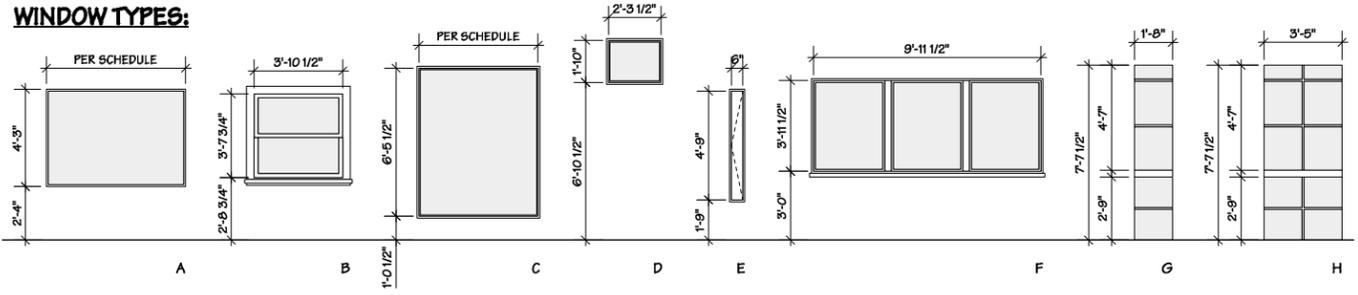
WINDOW SCHEDULE

ID#	LOCATION	W	H	TYPE	SILL HT.	HEAD HT.	OPERATION	EGRESS	FRAME	OPENG AREA	NOTES
001	MASTER BEDROOM	6'2"	4'5"	A	2'4"	-	FIXED	-	WOOD	-	
002	MASTER BEDROOM	5'10"	4'5"	A	2'4"	-	FIXED	-	WOOD	-	
003	MASTER BEDROOM	5'10"	4'5"	A	2'4"	-	FIXED	-	WOOD	-	
004	MASTER BEDROOM	6'3"	4'5"	A	2'4"	-	FIXED	-	WOOD	-	
005	MASTER BEDROOM	3'4 1/2"	3'7 3/4"	B	-	6'4 1/2"	SINGLE HUNG	-	WOOD	-	REPLACED IN REMODEL
006	BEDROOM 3 (SECOND UNIT)	5'2 1/2"	6'5 1/2"	C	-	7'6"	FIXED	-	WOOD	-	
007	BEDROOM 3 (SECOND UNIT)	3'3"	6'5 1/2"	C	-	7'6"	FIXED	-	WOOD	-	
008	BEDROOM 3 (SECOND UNIT)	6'8"	6'5 1/2"	C	-	7'6"	FIXED	-	WOOD	-	
009	BEDROOM 3 (SECOND UNIT)	1'3 1/2"	1'10"	D	6'11 1/2"	-	FIXED	-	WOOD	-	
010	BEDROOM 3 (SECOND UNIT)	1'3 1/2"	1'10"	D	6'11 1/2"	-	FIXED	-	WOOD	-	
011	BEDROOM 3 (SECOND UNIT)	6"	4'5"	E	-	6'6"	CASEMENT	-	WOOD	-	
012	BEDROOM 3 (SECOND UNIT)	1'3 1/2"	1'10"	D	6'11 1/2"	-	FIXED	-	WOOD	-	
013	BEDROOM 3 (SECOND UNIT)	1'3 1/2"	1'10"	D	6'11 1/2"	-	FIXED	-	WOOD	-	
014	BEDROOM 3 (SECOND UNIT)	1'3 1/2"	1'10"	D	6'11 1/2"	-	FIXED	-	WOOD	-	
015	BEDROOM 3 (SECOND UNIT)	1'3 1/2"	1'10"	D	6'11 1/2"	-	FIXED	-	WOOD	-	
016	BEDROOM 3 (SECOND UNIT)	1'3 1/2"	1'10"	D	6'11 1/2"	-	FIXED	-	WOOD	-	
017	BEDROOM 3 (SECOND UNIT)	1'3 1/2"	1'10"	D	6'11 1/2"	-	FIXED	-	WOOD	-	
018	BEDROOM 3 (SECOND UNIT)	6'11 1/2"	3'11 1/2"	F	3'0"	-	FIXED	-	WOOD	-	
019	BEDROOM 3 (SECOND UNIT)	1'8"	7'7 1/2"	G	-	7'7 1/2"	FIXED	-	WOOD	-	
020	BEDROOM 3 (SECOND UNIT)	3'5"	7'7 1/2"	H	-	7'7 1/2"	FIXED	-	WOOD	-	
021	BEDROOM 3 (SECOND UNIT)	2'8"	7'7 1/2"	H	-	7'7 1/2"	FIXED	-	WOOD	-	
022	BEDROOM 3 (SECOND UNIT)	5'4"	7'7 1/2"	H	-	7'7 1/2"	FIXED	-	WOOD	-	
101	GREAT ROOM	28'10"	15'6"	AA	3"	-	FIXED	-	WOOD	-	
102	GREAT ROOM	5'5"	9'4 1/4"	U	11"	-	FIXED	-	WOOD	-	
103	GREAT ROOM	6'5"	9'4 1/4"	U	11"	-	FIXED	-	WOOD	-	
104	GREAT ROOM	5'5"	9'4 1/4"	U	11"	-	FIXED	-	WOOD	-	
105	GREAT ROOM	7'12"	3'10 1/2"	J	-	7'8"	CASEMENT	-	WOOD	-	
106	BEDROOM 1	4'3 1/2"	9'5 1/2"	Y	10 1/2"	-	FIXED	-	WOOD	-	
107	BATH	3'7"	3'4"	K	-	6'7 1/2"	SINGLE HUNG	-	WOOD	-	REPLACED IN REMODEL
108	KITCHEN	4'8"	3'4"	L	-	7'8"	SLIDER	-	WOOD	-	REPLACED IN REMODEL
109	RECREATION ROOM	12 1/2"	2'5"	M	-	7'9"	FIXED	-	WOOD	-	
110	RECREATION ROOM	12 1/2"	2'5"	M	-	7'9"	FIXED	-	WOOD	-	
111	RECREATION ROOM	4'8"	11'9"	W	-	11'0"	FIXED	-	WOOD	-	
112	RECREATION ROOM	5'0"	11'9"	W	-	11'0"	FIXED	-	WOOD	-	
113	RECREATION ROOM	4'9"	11'9"	W	-	11'0"	FIXED	-	WOOD	-	
114	RECREATION ROOM	4'7"	11'9"	W	-	11'0"	FIXED	-	WOOD	-	
115	RECREATION ROOM	10'4 1/2"	3'9"	X	7'6 1/2"	-	FIXED	-	WOOD	-	
116	WASH ROOM	3'10"	3'6"	N	-	6'7 1/2"	FIXED	-	WOOD	-	
117	LIVING (SECOND UNIT)	23'1 1/2"	15'6"	AB	7"	-	FIXED	-	WOOD	-	
118	KITCHEN (SECOND UNIT)	2'10"	12'9 5/8"	Y	3.5	-	FIXED	-	WOOD	-	
119	LIVING - SECOND UNIT	9'6"	#	Z	3.5	-	FIXED	-	WOOD	-	
201	READING ROOM	6'6"	2'8 1/2"	O	5'8 7/8"	-	FIXED	-	WOOD	-	
202	READING ROOM	6'0"	-	-	-	6'7 1/2"	FIXED	-	WOOD	-	
203	WC	4'6"	1'4 7/8"	Q	5'6"	-	FIXED	-	WOOD	-	
204	WC	5"	1'3 1/2"	R	4"	-	FIXED	-	WOOD	-	
205	WC	1'10 1/2"	1'8"	S	-	6'5"	AWNING	-	WOOD	-	REPLACED IN REMODEL
206	BEDROOM 2	3'0"	2'8"	T	2'11"	-	CASEMENT	-	WOOD	-	REPLACED IN REMODEL
207	BEDROOM 2	3'0"	2'8"	T	2'11"	-	CASEMENT	-	WOOD	-	REPLACED IN REMODEL
208	BEDROOM 2	3'0"	2'8"	T	2'11"	-	CASEMENT	-	WOOD	-	REPLACED IN REMODEL
209	BEDROOM 2	3'0"	2'8"	T	2'11"	-	CASEMENT	X	WOOD	8.00 SF	REPLACED IN REMODEL
210	BEDROOM 5	3'0"	2'8"	T	2'11"	-	CASEMENT	X	WOOD	8.00 SF	REPLACED IN REMODEL

WINDOW NOTES:

1. ALL WINDOW OPENINGS SAME AS ORIGINAL CONSTRUCTION. NO NEW OPENINGS CREATED DURING REMODEL. WINDOWS REPAIRED/REPLACED DURING REMODEL INDICATED ON SCHEDULE.
2. EMERGENCY EGRESS WINDOWS TO BE LOCATED IN BEDROOMS & HOME OFFICE.
- A. BOTTOM OF THE CLEAR OPENING SHALL BE GREATER THAN 44" A.F.F.
- B. MIN. NET CLEAR OPENING OF 5.7 S.F.
- C. 24" MIN. NET CLEAR OPENING HEIGHT
- D. 20" MIN. NET CLEAR OPENING WIDTH

WINDOW TYPES:



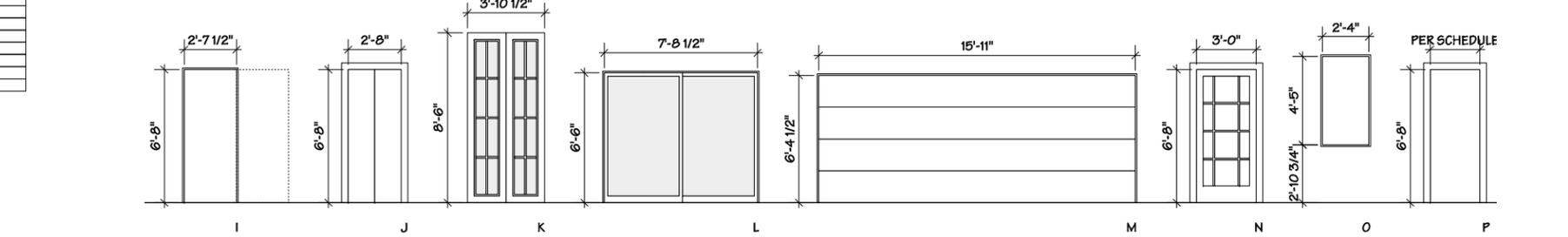
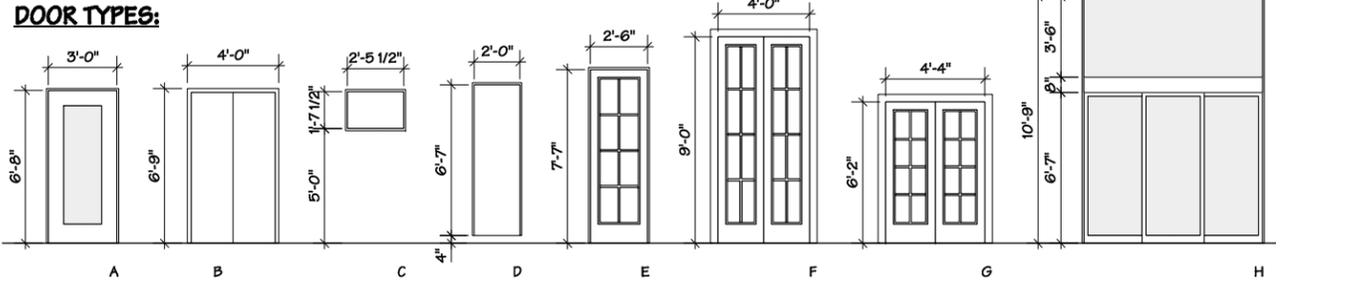
DOOR SCHEDULE

ID#	LOCATION	W	H	TYPE	FUNCTION	EXT	INT	DOOR	GLAZING	NOTES
001	MASTER BEDROOM	3'0"	6'8"	A	SWING	X	-	VINYL	FULL LITE	EGRESS ROUTE FOR MASTER BEDROOM
002	MASTER BEDROOM	2'6"	6'8"	P	SWING	-	X	WOOD	-	
003	MASTER BATH	2'6"	6'8"	P	SWING	-	X	WOOD	-	
004	MASTER BATH	4'0"	6'9"	B	SLIDER	-	X	METAL	-	
005	MASTER BATH	2'5 1/2"	1'7 1/2"	C	SWING	X	-	WOOD	-	5'0" A.F.F., CRAWLSPACE ACCESS
006	BEDROOM 3 (SECOND UNIT)	2'0"	6'7"	D	CASED OPENING	-	X	WOOD	-	4" A.F.F.
007	BEDROOM 3 (SECOND UNIT)	2'6"	7'7"	E	SWING	X	-	WOOD	-	EGRESS ROUTE FOR BEDROOM 3
008	BEDROOM 3 (SECOND UNIT)	2'0"	6'8"	P	SWING	-	X	WOOD	-	
101	GREAT ROOM	4'0"	9'0"	F	SWING, BI-PART	X	-	WOOD	-	
102	GREAT ROOM	4'4"	6'2"	G	SWING, BI-PART	-	X	WOOD	-	
103	BATH	2'6"	6'8"	P	SWING	-	X	WOOD	-	
104	BEDROOM 1	2'6"	6'8"	P	SWING	-	X	WOOD	-	
105	BEDROOM 1	7'9 3/4"	10'9"	H	SLIDER	X	-	VINYL	MULTI LITE, TRANSOM	EGRESS ROUTE FOR BEDROOM 1
106	KITCHEN	2'7 1/2"	6'8"	I	POCKET	-	X	WOOD	-	
107	KITCHEN	2'8"	6'8"	J	BI-FOLD	-	X	WOOD	-	
108	KITCHEN	#	6'6"	K	SWING, BI-PART	-	X	WOOD	MULTI LITE	
109	RECREATION ROOM	4'8 1/2"	6'6"	L	SLIDER	X	-	VINYL	MULTI-LITE	
110	WASH ROOM	2'4"	6'8"	P	SWING	-	X	WOOD	-	
111	GARAGE	2'0"	6'8"	P	SWING	-	X	WOOD	-	
112	GARAGE	2'0"	6'8"	P	SWING	-	X	WOOD	-	
113	EXTERIOR	2'7"	6'8"	P	SWING	-	X	WOOD	-	
114	GARAGE	15'11"	6'4 1/2"	M	OVERHEAD	X	-	METAL	MULTI-LITE	
115	LIVING (SECOND UNIT)	3'0"	6'8"	N	SWING	X	-	WOOD	-	
201	READING ROOM	2'4"	4'5"	O	SWING	-	X	WOOD	-	2'10 3/4" A.F.F., ATTIC ACCESS
202	ATTIC	2'0"	6'8"	P	SWING	-	X	WOOD	-	
203	WC	2'0"	6'8"	P	SWING	-	X	WOOD	-	
204	BEDROOM 5	2'6"	6'8"	P	SWING	-	X	WOOD	-	
205	BEDROOM 2	2'6"	6'8"	P	SWING	-	X	WOOD	-	
206	BEDROOM 2	2'6"	6'8"	P	SWING	-	X	WOOD	-	
207	BEDROOM 5	2'8"	6'8"	P	SWING	-	X	WOOD	-	

DOOR NOTES:

1. ALL WINDOW OPENINGS SAME AS ORIGINAL CONSTRUCTION. NO NEW OPENINGS CREATED DURING REMODEL. WINDOWS REPAIRED/REPLACED DURING REMODEL INDICATED ON SCHEDULE.

DOOR TYPES:



PRELIMINARY - NOT FOR CONSTRUCTION

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A.P.N. 042-151-006

DOOR & WINDOW SCHEDULES

REVISIONS
DATE: 30 SEPTEMBER 2019
SHEET

A3.1



MEMORANDUM

TO: Trinidad Planning Commission

FROM: Trever Parker, City Planner

DATE: November 15, 2019

RE: General Plan Update – Water Policies

At the October 16 meeting, we reviewed and discussed all the background water reports that are now available, copies of which you have received at various meetings. There are also copies available on the City's documents library page, in the Water box under *Plans and Studies*. As a reminder, those studies are as follows:

- Water Treatment Plant Production Rate Test and Analysis (GHD, May 2019)
- Water Demand Assessment (SHN, August 2019)
- Conceptual Hydrological Assessment of the Luffenholtz Creek Watershed (GHD, October 2019)
- Water Demand and Loss Analysis (GHD, October 2019)
- Alternative Row Water Source Evaluation (GHD, October 2019)

At the last meeting, the Commission did not spend much time discussing specific water policies as they already exist in the general plan update drafts. Although we have new information, many of those policies are still relevant. There was a suggestion to find some sample policies from water limited jurisdictions. I think that could be helpful. However, I spent a little time searching through general plans of cities in dry areas, but surprisingly, none of them had water limitations. So, if anyone has any suggestions, please let me know. In addition, I think the Commission should take a little step back and consider the bigger picture first.

To that end, I put together the following list of broad questions and considerations that may help spur that discussion and narrow the direction. They are broken down by separate, but interrelated issues. Once I have some better direction on these issues, I can better focus my efforts on specific policies. If we get through this list of questions and have some consensus, the Commission should then look to the existing water related policies (Land Use and Circulation elements) in light of how these questions were answered. I will be meeting with the City Manager, Mayor, and Mayor Pro-Tem on Monday to discuss the timing and process for moving this discussion forward, and I will report back at the meeting.

Supply

- How much does the City want to pursue upgrades of the water plant in order to increase capacity, given the probability that supply (creek) may be limited?
- On the surface, increasing storage and making improvements to the infiltration gallery seem like straightforward ways to increase capacity and reduce risk. However, the devil is in the details, and they may not be very easy, particularly improvements to the infiltration gallery.
- How aggressively does the City want to pursue illegal diversions in Luffenholtz? This will require some level of cooperation with the County and maybe the Water Board. The City should at least get an inventory of the existing water rights.
- What is the back-up plan or plans in case of a short-fall? Consider both short and long-term. Range of options include encouraging rain barrels to hooking up to HBMWD. Some combination is likely warranted.
- Also consider trigger points for implementing back up plan(s).

Development

- Given that there is already some limited potential to run out of water, at least on a temporary basis, does the City want to curtail development? This could be thought of in another way – how much risk is acceptable?
- On the other hand, do we really have enough information to justify this? The current risk seems to be very small. The water plant currently has the capacity to serve City build-out plus some additional users. But as more commitments are made, the higher the risk of future short-falls.
- Curtailing development would most likely mean avoiding annexation and not hooking up any more users outside City limits, regardless of the potential advantages to the City.
- It could also mean downzoning properties in the City to limit future development and / or prohibiting second units. But this could violate state housing laws without substantial justification.

Conservation

- How aggressively does the City want to pursue regulation of water use?
- Easy things would be to require water efficient appliances and landscaping in all new development. But it is harder to apply those standards retroactively to existing development, so their usefulness is limited.
- Should the City consider a rate structure that encourages conservation?
- Should there be limits on water use? (I haven't looked into the legality/ramifications of this possibility, but we have discussed the fact that there are a few extremely high users in the City.)

- Consider policies for potential near-term short-falls; how is water use curtailed during a drought / low-flow conditions. Does everyone have to cut back a certain %, or are certain users prioritized, for example?

New Users

- Should the City consider requiring a service agreement for commercial/large users in the City in the future?
- Currently, water use is not formally a consideration for any proposed uses. It should be. But how are requests evaluated?
- If the City is going to consider hooking up users outside City limits and/or annexation, what are the criteria and information required for considering those requests and how are users prioritized?

Attachments

There are no additional attachments.

- The background water reports are available at the following link:
<http://trinidad.ca.gov/document-library/plans-and-studies>
- Water-related draft general plan policies are available in the October packet at the following link:
<http://trinidad.ca.gov/sites/trinidad.ca.gov/files/library/TPCpacket1019.pdf>