



## MEMORANDUM

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**TO:** Trinidad Planning Commission

**FROM:** Trever Parker, City Planner

**DATE:** May 12, 2016

**RE:** Clompus 2016-02 Continued Hearing

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As you probably recall, the Planning Commission had some questions about this project that I could not answer during the original hearing of April 20, 2016. Therefore, you felt that you did not have enough information to make the required findings to approve the project. The hearing was continued to the regular May meeting. Please bring your materials from the last meeting for this project.

I wrote a letter to the applicants explaining what the questions were and requesting additional information. The requested information included a more detailed site plan specifically showing the location of the footings for the new stairway. In addition, elevations were requested to show the aesthetic impact of the expanded deck and new stairs. I have attached the new materials that were submitted. These include two additional site plans; no elevations were submitted. My letter did suggest that the applicants or their representative attend this hearing in order to answer any questions.

I sent the new site plans to DEH for review and spoke with Adam. He doesn't have any problem with the stairway as long as the supports are installed as shown in relation to the septic system. I suggested that the City could include a condition of approval to ensure that the posts are not placed on any components of the septic system. Suggested wording to add to the conditions already in the staff report is included below:

6. Prior to, or at the time of construction, the applicants shall have Wes Green repaint the location of the two most northern leachlines on the lawn. In addition, the outline of the septic tank and D-box shall also be painted. The builder shall ensure that the footings for the new deck and stairway are not located on any of these components. *Responsibility: Building Official prior to building permits being issued and / or at the time of inspection(s).*



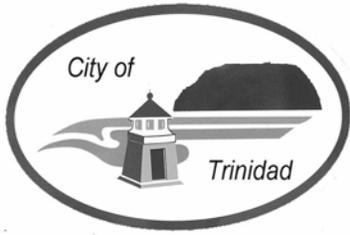
860 Van Wycke St

SEPTIC  
TANK

LEACH  
FIELD

OLD DECK  
NEW DECK

NOTE: REFER TO "PLAN VIEW"  
FOR FURTHER DETAIL  
ALSO SEE ATTACHMENT "A"



Filed: March 25, 2016  
Staff: Trever Parker  
Staff Report: April 15, 2015  
Commission Hearing Date: May 18, 2015  
Commission Action:

**STAFF REPORT: CITY OF TRINIDAD**

APPLICATION NO: 2016-03

APPLICANT (S): Nick Wilson

AGENT: Bonnie Oliver

PROJECT LOCATION: Berry Road (address not yet assigned); north side, just east of 15 Berry Rd.

PROJECT DESCRIPTION: Design Review, Coastal Development Permit, and Grading Permit to construct a new 1,236 sq. ft., 2-story, 1-bedroom, single-family yurt (permanent construction). A new 2-bedroom sewage disposal system will also be installed.

ASSESSOR'S PARCEL NUMBER: 515-331-48

ZONING: SR – Suburban Residential

GENERAL PLAN DESIGNATION: SR – Suburban Residential

ENVIRONMENTAL REVIEW: Categorically Exempt from CEQA per § 15303 of the CEQA Guidelines exempting new construction of small structures, including single-family homes on residentially zoned property.

APPEAL STATUS:

Planning Commission action on a coastal development permit, a variance or a conditional use permit, and Design Assistance Committee approval of a design review application will become final 10 working days after the date that the Coastal Commission receives a "Notice of Action Taken" from the City unless an appeal to the City Council is filed in the office of the City Clerk at that time. Furthermore, this project \_\_\_ is **X** is not appealable to the Coastal Commission per the City's certified LCP, nor per Section 30603 of the Coastal Act.

## **SITE CHARACTERISTICS:**

The vacant property is located on the north side of Berry Road, adjacent to 15 Berry, just north and across Berry Rd. from the Trinidad Living Christian Church. Access to the site is provided from Berry Road. The parcel will share an access driveway with 15 Berry Rd. The site is bordered by parcels zoned Suburban Residential (SR). There is one Special Environment (SE) zoned parcel to the north. Most of the surrounding parcels are developed with single-family residences. There is a vacant lot to the east and vacant parcels to the north. The property is just over ½ acre, or approximately 25,264 sq. ft. in area. The property has some shrubs and trees on it; most of the larger vegetation is located on the northern portion of the lot away from the proposed development. The building site itself is mostly flat (~2% slope), but the lot gives way to steep slopes to the north, with an average slope of 40%. Drainage is to the north toward Mill Creek.

## **STAFF COMMENTS:**

This parcel was part of a major lot line adjustment and annexation that was completed in 1998. As part of the lot line adjustment, a development plan for the parcels was approved, including building sites and septic system layouts. While the project layout is not exactly as in the development plan, the key concerns were access, setbacks, including from the break in slope, and leachfields. As conditioned, the proposed project complies with all current requirements and the conditions outlined in the development plan. These conditions were supposed to be recorded on the deed for disclosure, so the applicant should be aware of the constraints. Although the project itself is fairly straightforward, there are some complicating site conditions.

Referrals were sent to the Building Official, City Engineer and the County Health Department. The Engineer and Building Official did not have any comments at this time. A standard condition of approval has been included that all conditions of the City Engineer and Building Official must be met prior to building permit issuance and that any grading, drainage and street improvement requirements will be addressed in the building permit. The applicant has already obtained a permit for a new 2-bedroom sewage disposal system, and DEH had no objections to the project.

## **ZONING ORDINANCE / GENERAL PLAN CONSISTENCY**

The property where the project is located is zoned SR – Suburban Residential. The purpose of this zone is to allow medium residential development; single-family residences are a principally permitted use. The minimum lot size allowed in the UR zone is 20,000 s.f., and the maximum density is one dwelling per 20,000 s.f. The property on which the project is proposed is approximately 25,264 s.f.

The floor area of the proposed yurt, including the loft, as defined by the Zoning Ordinance § 17.08.310, will be 1,236 s.f. Other improvements include a small 5' x 8' concrete stoop at the front door of the yurt, a gravel driveway with two off-street parking areas(as revised), and a new 2-bedroom septic system (see site plan and floor plan).

The Suburban Residential zone requires minimum yards of front 30', rear 20', and side 10' (§ 17.36.060). The parcel faces Berry Road to the south. The plot plan indicates that the yard requirements will be met. Note that the northern half of Berry Road is actually an easement in this location rather than a dedicated public right of way. The 30' front setback has been measured from the northern edge of the easement.

Section 17.56.110 allows eaves and overhangs to extend 2.5' into side yards and 4' into front, street-side and rear yards. Decks and stairways, landings, balconies and uncovered porches are allowed to extend up to eight feet into front, rear or street-side yards and three feet into side yards. All of these setbacks are proposed to be met by the proposed project except for a portion of the 5' x 8' concrete front stoop. These setbacks appear to only apply to raised structures, and not things like at-grade walkways and patios. Therefore, the size of the stoop will need to be reduced in order to meet the setback, but the concrete walkway can be extended into the area the stoop was proposed to make up for it.

**TABLE 1 - AREAS**

	Proposed sq. ft.
<b>Lot Area</b>	<b>25,264</b>
<b>FLOOR AREA</b>	
Main Level	822
2 <sup>ND</sup> Level	414
<b>Total Residence</b>	<b>1,236</b>
<b>FOOTPRINT</b>	
Residence	822
Stoop	40
Driveway	800
<b>Total Footprint</b>	<b>1,662</b>
<b>FLOOR TO LOT AREA RATIO*</b>	
<b>Residence</b>	<b>4.9%</b>
<b>Total Footprint</b>	<b>6.6%</b>

\* Note that in the SR zone, the standard FAR would be 10% for a 2,000 s.f. house on a 20,000 s.f. lot.

The maximum height allowed in the SR zone, by Zoning Ordinance § 17.36.06 (average ground level elevation covered by the structure to the highest point of the roof), is 25 feet, except that the Commission may require a lesser height in order to protect views (§17.27.070). The maximum height of the proposed residence as stated on the site plan

is 24 ft. However, it appears that this was measured from the top of the foundation rather than the ground surface. On the provided elevation, it appears that the foundation is not more than a foot in height, but the scale is not exact. Views are not likely to be an issue for this project due to the surrounding vegetation. But to ensure compliance with the zoning ordinance, a condition of approval has been included that the maximum height from the average ground elevation can not exceed 25 ft.

The Zoning Ordinance (§ 17.56.180) requires 2 off-street parking spaces other than any garage spaces; spaces must measure 8.5' x 18'. The originally submitted plot plan shows only one parking space. Normally, tandem spaces in the driveway are acceptable, but because this is a shared driveway, that would not be ideal. At 20' in width though, 10' on each property, the driveway is large enough to accommodate two cars. A revised plot plan was submitted showing two alternatives for accommodating an additional parking space. Both comply with the zoning ordinance requirements. Driveways and parking areas that accommodate less than 4 spaces must be surfaced with an all-weather surface. Compacted gravel complies with this requirement and still allows some permeability. The first 15' or so of the driveway is paved to reduce the amount of dirt and gravel being transported onto Berry Road. Runoff will need to be further addressed as part of the required drainage and erosion control plans, which will be reviewed as part of the building plans.

The Trinidad General Plan and Zoning Ordinance protect important public coastal views from roads, trails and vista points and private views from inside residences located uphill from a proposed project from significant obstruction. The project does not appear to be readily visible from any public viewpoints or any residences located upslope or behind. Neighbors have been notified and have the opportunity to speak at the hearing. Exterior materials and colors as stated on the plans will be horizontal tongue and groove cedar siding in natural wood tones. The roof material will be colored standing seam metal.

## **GRADING / DRAINAGE / STORMWATER:**

The project was reviewed under the City's new stormwater ordinance, and it is exempt. However, because the site is vacant, some grading and excavation is required for this project. Because the project will disturb more than 1,000 s.f. of surface area, a Grading Permit is technically required, but is part of the overall project approval. Note that this parcel has old fill on it left from when the freeway was constructed.

The City's Grading Ordinance (§15.16.070) requires grading permits to be approved by the Planning Commission based on the required findings that *"the proposed grading will not adversely affect the drainage or lateral support of other properties in the area, and will not be detrimental to the public health, safety or the general welfare, or is not in conflict with the provisions of this chapter, the Trinidad zoning title and general plan."* The City Engineer had no objections to this project. A Soils and Geologic Report was prepared by Walter B. Sweet in 1998 for the lot line adjustment that created this parcel.

All the recommendations of that report have been included as conditions of approval. In addition, the Building Inspector will be further reviewing grading, drainage and erosion control as part of the building permit process.

### **SLOPE STABILITY:**

The project site is not mapped as being unstable or of questionable stability on Plate 3 of the General Plan. At least a portion of the project parcel falls within the Alquist-Priolo Fault Hazard Special Study Zone. However, single-family, wood-frame dwellings not exceeding 2-stories are exempt from the requirements of the Alquist-Priolo Earthquake Fault Zoning Act, and no additional studies are required.

Approximately within 100' of Mill Creek is mapped as being of questionable stability, which is very close to the northern property boundary of this parcel; the building site is well outside of this area. There are steep slopes to the north of the building site. As mentioned above, a Geologic Report (Walter B. Sweet, April 15, 1998) was required as part of a previous lot line adjustment, and this project is subject to the recommendations of that report. In terms of the site design considerations, the proposed project meets the recommended setbacks from the buried break-in-slope. In addition, as part of the building permit process, the City Engineer shall review the plans for conformance with the Geologic Report; this has been made a condition of approval.

### **SEWAGE DISPOSAL:**

The proposed 2-bedroom septic system layout has been shown on the plot plan. The engineered design has already been approved by the Humboldt County Division of Environmental Health and permit issued by DEH for construction. Although the home is described as being only one bedroom, DEH requires most systems to be designed for at least 2-bedrooms. Due to the loft space and size of the residence, the City would have required a 2-bedrooms system as well. The system has been adequately sized and approved to serve two bedrooms. Note that normally a 10' setback is required between structures, including driveways, and a leachfield. Because the driveway is gravel, the setback is not required. However, the leachfield must be protected from vehicular traffic by a barrier, which is shown on the site plan and included as a conditions of approval.

### **LANDSCAPING AND FENCING:**

Much of the vegetation on the parcel consists of young redwood forest extending down slope to the north of the project, as well as in the front of the parcel along Berry Rd. The building site is within a clearing consisting of mostly non-native grasses that are periodically mowed. No large trees or significant vegetation exists within the building

area. The forested area to the north of the project area is proposed to remain undisturbed, as well as the vegetation along Berry Rd.

The project site is identified in the General Plan Environmental Conditions and constraints as an area potentially containing a rare plant (*Dichondra donnelliana*). A condition of approval for the previous lot line adjustment states that “*at the time residential development is proposed, an applicant is required to submit a report prepared by a qualified biologist indicating the potential for impacts to the rare plants on the property as identified in the City’s General Plan and any measures necessary to reduce those impacts to less than significant.*” Policy 16 of the City’s General Plan states in part: “*development should be reviewed to ensure that all reasonable means have been considered to protect any existing rare plants.*” After further review of the potential for rare plants, staff has determined that a biological report should not be required if the Planning Commission agrees with staff’s analysis. The plant identified as potentially occurring the project area is no longer on CA Dept. of Fish and Game’s “Special Plants” list. This list includes all state and federal officially designated plants, candidate species, those that meet listing criteria as well as the CA Native Plant Society’s *Inventory of Rare and Endangered Plants of CA* and others. The plant is described in *The Jepson Manual of Higher Plants of CA* as occurring in open slopes and moist fields, which the development area does not contain. Therefore, a biological reconnaissance has not been made a condition of project approval.

## **DESIGN REVIEW / VIEW PROTECTION FINDINGS:**

Because the project is located within the Coastal Zone and proposes a new structure, §17.60.030 of the Zoning Ordinance requires Design Review and View Protection Findings to be made as well as approval of a Coastal Development Permit. Application materials show the project location and include the plot plan that shows proposed and existing improvements, and elevations. Recommended Design Review / View Preservation Findings are written in a manner to allow approval, without endorsing the project. However, if information is submitted or public comment received indicating that views, for instance, may be significantly impacted, or the structure proposed is obtrusive, the findings should be reworded accordingly.

### **Design Review Criteria**

- A. *The alteration of natural landforms caused by cutting, filling, and grading shall be minimal. Structures should be designed to fit the site rather than altering the landform to accommodate the structure.* Response: Minimal grading is required for this project; the building site is fairly flat.
  
- B. *Structures in, or adjacent to open space areas should be constructed of materials that reproduce natural colors and textures as closely as possible.* Response: The project is not near or adjacent to any open space areas.

- C. *Materials and colors used in construction shall be selected for the compatibility both with the structural system of the building and with the appearance of the building's natural and man-made surroundings. Preset architectural styles (e.g. standard fast food restaurant designs) shall be avoided.* Response: Though the yurt design is novel in Trinidad, exterior materials and colors will be consistent with other residential development in the area, consisting of horizontal siding in natural wood tones, with colored standing seam metal roofing.
- D. *Plant materials should be used to integrate the manmade and natural environments to screen or soften the visual impact of new development, and to provide diversity in developed areas. Attractive vegetation common to the area shall be used.* Response: Trees and associated vegetation growing along the street frontage are proposed to remain at this time. The proposed house is consistent with surrounding development. Additional landscaping is not proposed at this time, but can be found to be unnecessary.
- E. *On-premise signs should be designed as an integral part of the structure and should complement or enhance the appearance of new development.* Response: No on-premise signs are associated with this project.
- F. *New development should include underground utility service connections. When above ground facilities are the only alternative, they should follow the least visible route, be well designed, simple and unobtrusive in appearance, have a minimum of bulk and make use of compatible colors and materials.* Response: Above ground utilities already exist along portions of Berry Road. The nearest utility pole is located directly across Berry Road from the driveway, approximately 90 ft. from the nearest corner of the proposed residence. The applicants are proposing an underground connection to the existing underground connection next door at 15 Berry.
- G. *Off-premise signs needed to direct visitors to commercial establishments, as allowed herein, should be well designed and be clustered at appropriate locations. Sign clusters should be a single design theme.* Response: No off-premise signs are associated with this project.
- H. *When reviewing the design of commercial or residential buildings, the committee shall ensure that the scale, bulk, orientation, architectural character of the structure and related improvements are compatible with the rural, uncrowded, rustic, unsophisticated, small, casual open character of the community. In particular:*
1. *Residences of more than two thousand square feet in floor area and multiple family dwellings or commercial buildings of more than four thousand square feet in floor area shall be considered out of scale with the community unless they are designed and situated in such a way that their bulk is not obtrusive.*
  2. *Residential and commercial developments involving multiple dwelling or business units should utilize clusters of smaller structures with sufficient open space between them instead of a consolidated structure.*

The proposed residence is 1,236 s.f., which is well under the 2000 s.f. guideline. It is also less than the standard floor-to-area ratio of 10% at 4.9%.

### **View Protection Criteria**

- A. *Structures visible from the beach or a public trail in an open space area should be made as visually unobtrusive as possible.* Response: The project site is not readily visible from a beach, trail or open space area.
- B. *Structures, including fences over three feet high and signs, and landscaping of new development, shall not be allowed to significantly block views of the harbor, Little Trinidad Head, Trinidad Head or the ocean from public roads, trails, and vista points, except as provided in subdivision 3 of this subsection.* Response: The proposed residence will not block any of the described public views.
- C. *The committee shall recognize that owners of vacant lots in the SR and UR zones, which are otherwise suitable for construction of a residence, are entitled to construct a residence of at least fifteen feet in height and one thousand five hundred square feet in floor area, residences of greater height as permitted in the applicable zone, or greater floor area shall not be allowed if such residence would significantly block views identified in subdivision 2 of this subsection. Regardless of the height or floor area of the residence, the committee, in order to avoid significant obstruction of the important views, may require, where feasible, that the residence be limited to one story; be located anywhere on the lot even if this involves the reduction or elimination of required yards or the pumping of septic tank wastewater to an uphill leach field, or the use of some other type of wastewater treatment facility; and adjust the length-width-height relationship and orientation of the structure so that it prevents the least possible view obstruction.* Response: The proposed residence is not expected to block any private views and is less than the guaranteed minimum of 1,500 s.f. in floor area.
- D. *If a residence is removed or destroyed by fire or other means on a lot that is otherwise usable, the owner shall be entitled to construct a residence in the same location with an exterior profile not exceeding that of the previous residence even if such a structure would again significantly obstruct public views of important scenes, provided any other nonconforming conditions are corrected.* Response: There was no residence that was destroyed by fire associated with this project.
- E. *The Tsurai Village site, the Trinidad Cemetery, the Holy Trinity Church and the Memorial Lighthouse are important historic resources. Any landform alterations or structural construction within one hundred feet of the Tsurai Study Area, as defined in the Trinidad general plan, or within one hundred feet of the lots on which identified historical resources are located shall be reviewed to ensure that public views are not obstructed and that development does not crowd them and thereby reduce their distinctiveness or subject them to abuse or hazards.* Response: The proposed

project is not within 100 feet of the Trinidad Cemetery, Holy Trinity Church, Memorial Lighthouse or the Tsurai Study Area.

## STAFF RECOMMENDATION

Based on the above analysis, and as conditioned below, the proposed project can be found to meet the Design Review / View Protection requirements, as well as other provisions of the City's Municipal Code and General Plan. If the Planning Commission agrees with staff's analysis, the proposed motion might be similar to the following:

Based on the information submitted in the application, included in the staff report and public testimony at the hearing, I move to adopt the information and Design Review, and Grading Permit findings in this staff report and approve the project as submitted and conditioned below:

## PLANNING COMMISSION ALTERNATIVES

If the Planning Commission does not agree with staff's analysis, or if information is presented during the hearing that conflicts with the information contained in the staff report, the Planning Commission has several alternatives.

- A. Add conditions of approval to address any specific concerns on the part of the Commission or the public.
- B. Delay action / continue the hearing to obtain further information.
  - In this case, the Planning Commission should specify any additional information required from staff or the applicant and / or suggestions on how to modify the project and / or conditions of approval.
- C. Denial of the project.
  - The Planning Commission should provide a motion that identifies the Finding(s) that can not be made and giving the reasons for the inability to make said Finding(s).

## CONDITIONS OF APPROVAL

1. The applicant is responsible for reimbursing the City for all costs associated with processing the application. *Responsibility: Building Official to verify prior to building permits being issued.*
2. Based on the findings that community values may change in a year's time, design review approval is for a one-year period starting at the effective date and expiring thereafter unless an extension is requested from the Planning Commission prior to that time. *Responsibility: Building Official to verify prior to building permits being issued.*

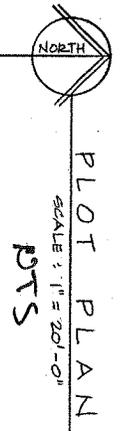
3. Recommended conditions of the City Building Official shall be required to be met as part of the building permit application submittal. Grading, drainage, erosion control and street improvements will need to be specifically addressed at the time of building permit application. *Responsibility: Building Official prior to building permits being issued.*
4. All recommendations made in Walter B. Sweet's April 15, 1998 Soils and Geologic Report for the site shall be complied with to the satisfaction of the City Engineer. *Responsibility: Building Official to confirm at time building permits are issued.*
5. The applicant is responsible for submitting proof that a statement on the deed, in a form approved by the City Attorney, has been recorded indicating that any increase in use above a 2-bedroom, 1-unit, single-family residence will require City approval of adequate sewage disposal capabilities. *Responsibility: City Building Official to verify prior to permits being issued.*
6. Construction related activities are to occur in a manner that does not impact the integrity of the primary or reserve sewage disposal areas. The leachfield area shall be staked and flagged to keep equipment off the area. Alternatively, a written description of techniques/timing to be utilized to protect the system will be required from the builder. If the existing system area is impacted by construction activities, an immediate Stop-Work Order will be placed on the project. The builder will be required to file a mitigation report for approval by the City and County Health Department prior to permitting additional work to occur. A Copy of the report is to go to the building official and into the conditions compliance folder. *Responsibility: Building Official to verify prior to building permits being issued and during construction.*
7. The leachfield shall be protected from compaction and future disturbance with the construction of an appropriate barrier (e.g. large rocks, fence, etc.) between the leachfield and the driveway / parking / turn-around to be installed to the satisfaction of the building inspector. In addition, the driveway will be constructed with gravel and not paved, so as not to be considered a structure which would require a 10' setback from the leachfield. *Responsibility: Building inspector is to inspect and sign off on the barrier installed between the driveway and the leachfield as indicated on the site plan.*
8. Verification shall be given documenting that the sewage system was installed as per the County of Humboldt division of Environmental health permit as indicated by DEH sign-off for construction on the permit after final inspection. *Responsibility: Building inspector shall verify prior to final inspection.*
9. Construction related activities are to occur in a manner that incorporates storm water runoff and erosion control measures in order to protect water quality. An

erosion control plan that conforms to the City's grading ordinance will be need to be prepared and submitted as part of the building permit process. Specific water quality goals include, but are not limited to:

- a. Limiting sediment loss resulting from construction
- b. Limiting the extent and duration of land disturbing activities
- c. Replacing vegetation as soon as possible
- d. Maintaining natural drainage conditions

*Responsibility: Building Official to confirm at time building permits are issued.*

10. Applicant shall direct roof drainage downspouts away from the septic system tank and leachfield. *Responsibility: Building Official to confirm at time building permits are issued.*
11. Applicant to provide method for City to verify height measurements (such as a reference stake) before and during the roof framing inspection and upon project completion. The addition shall not exceed 25' from the average ground elevation. *Responsibility: Building Official to confirm at time building permits are issued and during construction inspections.*
12. Applicant shall redesign the raised stoop so that it does not extend into the side yard setback by more than 3 feet. *Responsibility: Building Official to confirm at time building permits are issued.*

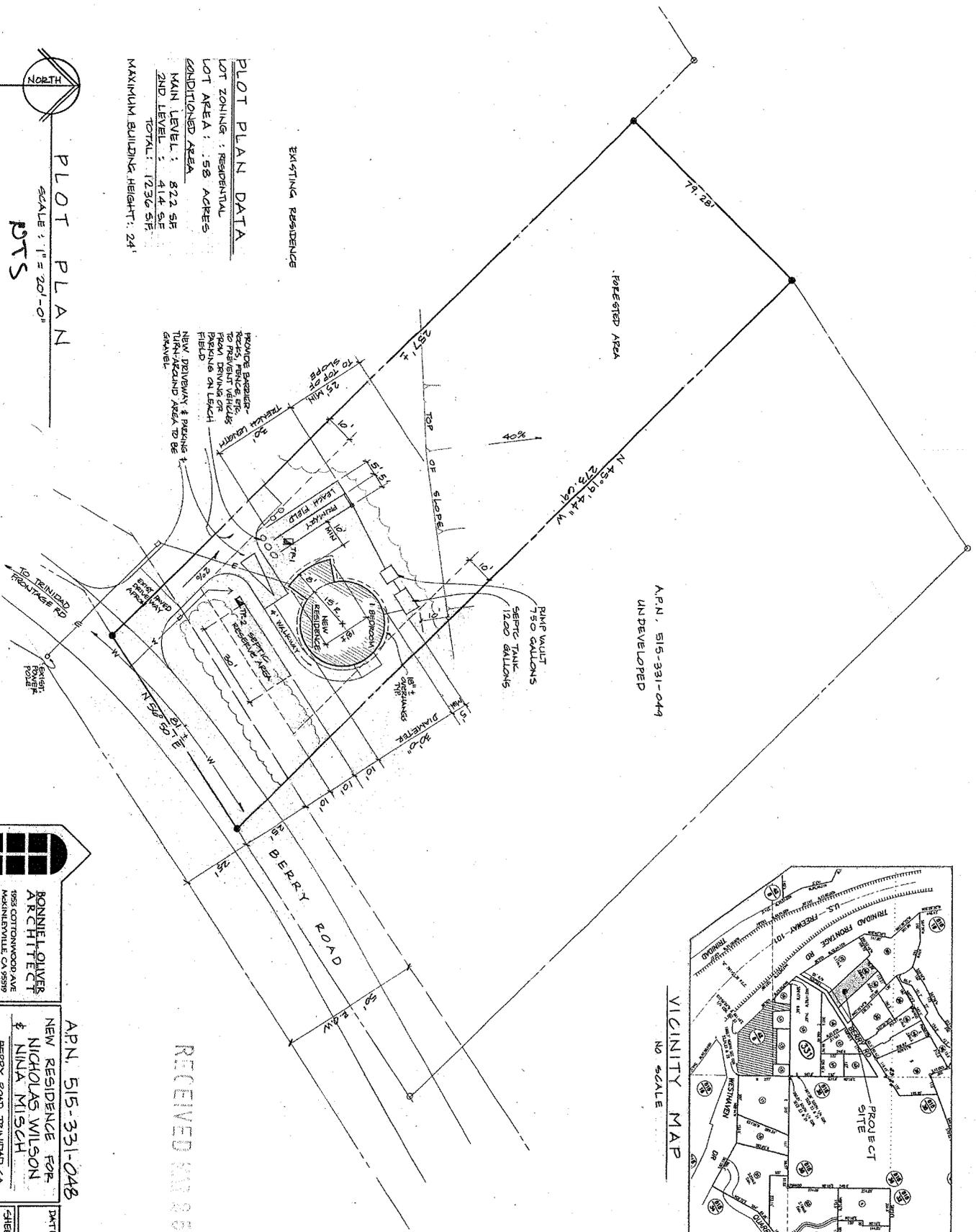


**PLOT PLAN**

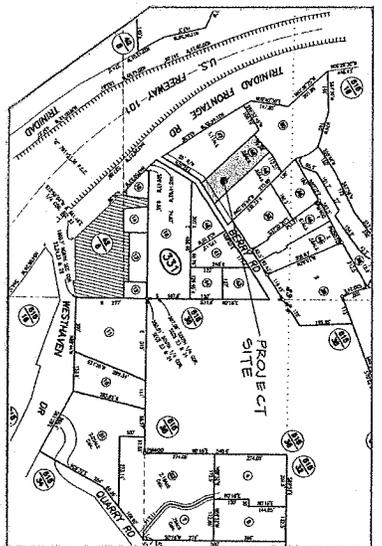
SCALE: 1" = 20'-0"  
PTS

**PLOT PLAN DATA**  
 LOT ZONING: RESIDENTIAL  
 LOT AREA: .58 ACRES  
 CONDITIONED AREA  
 MAIN LEVEL: 822 SF  
 2ND LEVEL: 414 SF  
 TOTAL: 1236 SF  
 MAXIMUM BUILDING HEIGHT: 24'

EXISTING RESIDENCES



APN. 515-331-049  
UNDEVELOPED



VICINITY MAP  
NO SCALE

RECEIVED 8/28/06

<p><b>RONNELL OLIVER ARCHITECTS</b>          1553 COTTONWOOD AVE          MCKINLEVILLE, CA 95919          (916) 839-8800          www.ronnellover.com</p>	<p>APN. 515-331-048</p>	<p>DWTE: 1</p>
	<p>NEW RESIDENCE FOR          NICHOLAS WILSON &amp;          NINA MITSCH</p>	<p>SHEET          SD-1</p>

**DREAM.  
DESIGN.  
BUILD.**

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 info@precisionstructural.com

**Professional Engineer**  
 License No. 12345  
 State of Arizona  
 Expires 12/31/2018

**Project:**  
 Wilson Misch  
 Yurt

**Client:**  
 Smiling Woods  
 LLC

**Stamp:**  
 3/18/16

**Revisions:**  
 1. 3/18/16  
 2. 3/18/16

**Drawn by:**  
 J.S. B.R.S.

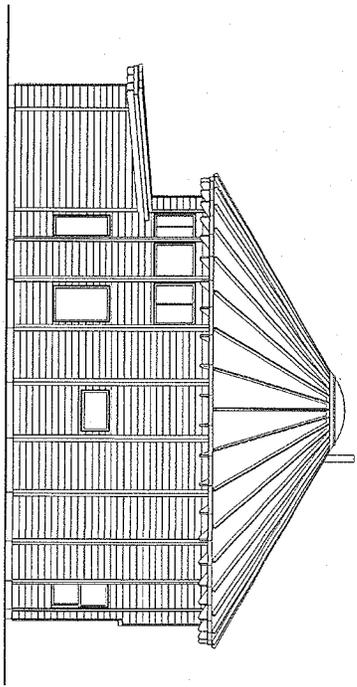
**Checked by:**  
 J.S. B.R.S.

**Date:**  
 02/05/2016

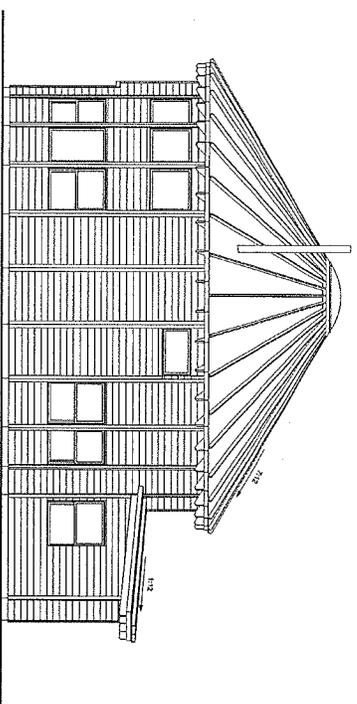
**Project #:**  
 SWY216-2

**Title:**  
 ELEVATIONS

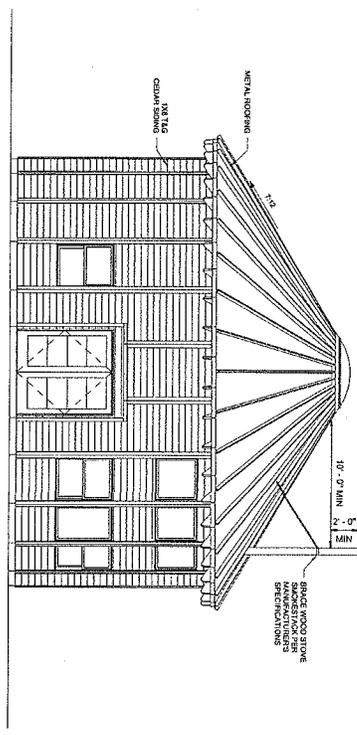
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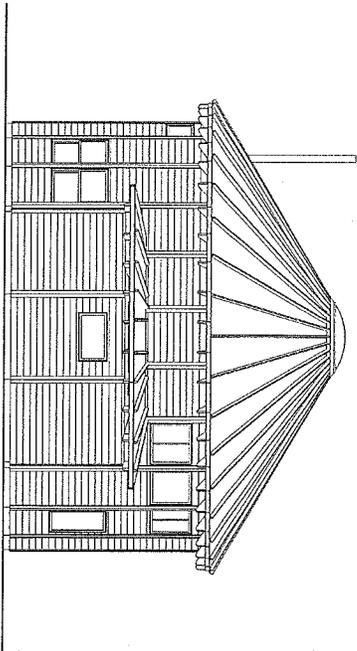
1 SOUTH FACING ELEVATION  
 Approx. Scale: 1/4" = 1'-0" DO NOT SCALE



2 NORTH FACING ELEVATION  
 Approx. Scale: 1/4" = 1'-0" DO NOT SCALE



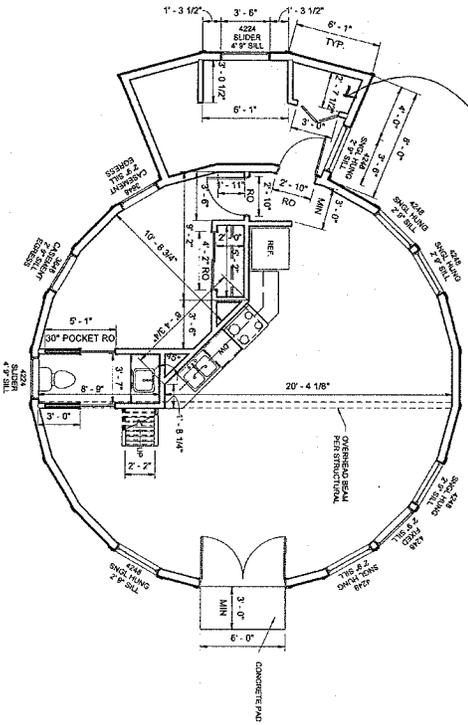
3 EAST FACING ELEVATION  
 Approx. Scale: 1/4" = 1'-0" DO NOT SCALE



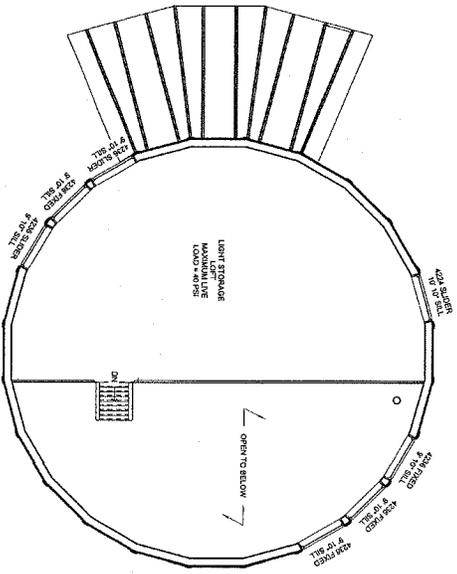
4 WEST FACING ELEVATION  
 Approx. Scale: 1/4" = 1'-0" DO NOT SCALE

Structural details for this project are for illustration only. They are not drawn to scale unless noted otherwise. Contractor must verify all dimensions before fabrication or construction. Do not scale drawings.

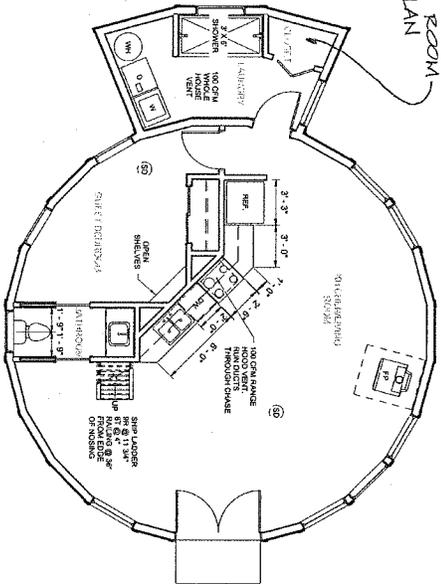
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1 ARCHITECTURAL FIRST FLOOR PLAN  
 A1 Approx. Scale: 1/4" = 1' DO NOT SCALE



3 ARCHITECTURAL LOFT PLAN  
 A1 Approx. Scale: 1/4" = 1' DO NOT SCALE



2 FIRST FLOOR INTERIOR LAYOUT  
 A1 Approx. Scale: 1/4" = 1' DO NOT SCALE

SEE SHEET A1.5 FOR REVISIONS  
 TO LAUNDRY / BATH ROOM  
 AND NOTES

**DREAM.  
 DESIGN.  
 BUILD.**

**Precision  
 Structural  
 Engineering,  
 Inc.**

10000 Wilshire Blvd.  
 Suite 1000  
 Culver City, CA 90230  
 Phone: (310) 551-2200  
 Fax: (310) 551-2201  
 Website: www.precisionstructural.com

Project:  
 Wilson Misch  
 Yurt

Client:  
 Berry Road  
 Trindell, CA 95770

Stamp:  
 9/18/16  
 Precision Structural Engineering, Inc.

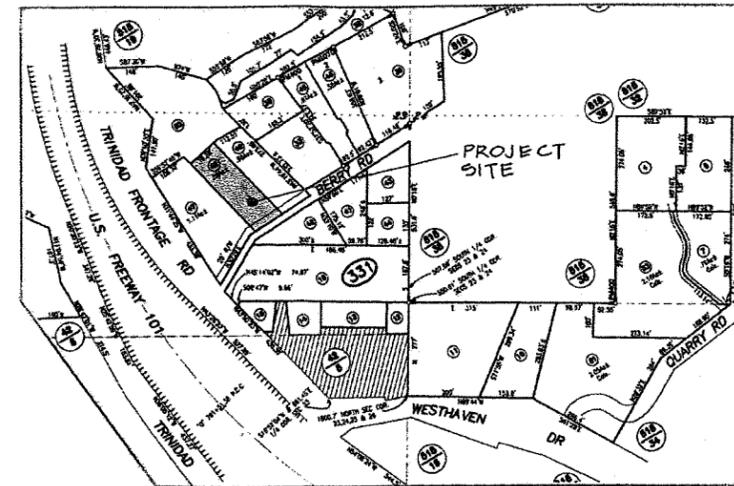
REVISIONS:  
 NO. BY DATE BY

DRAWN BY: R.S.  
 DESIGNED BY: R.S.  
 DATE: 02/20/2016  
 PROJECT #: SWY216-2

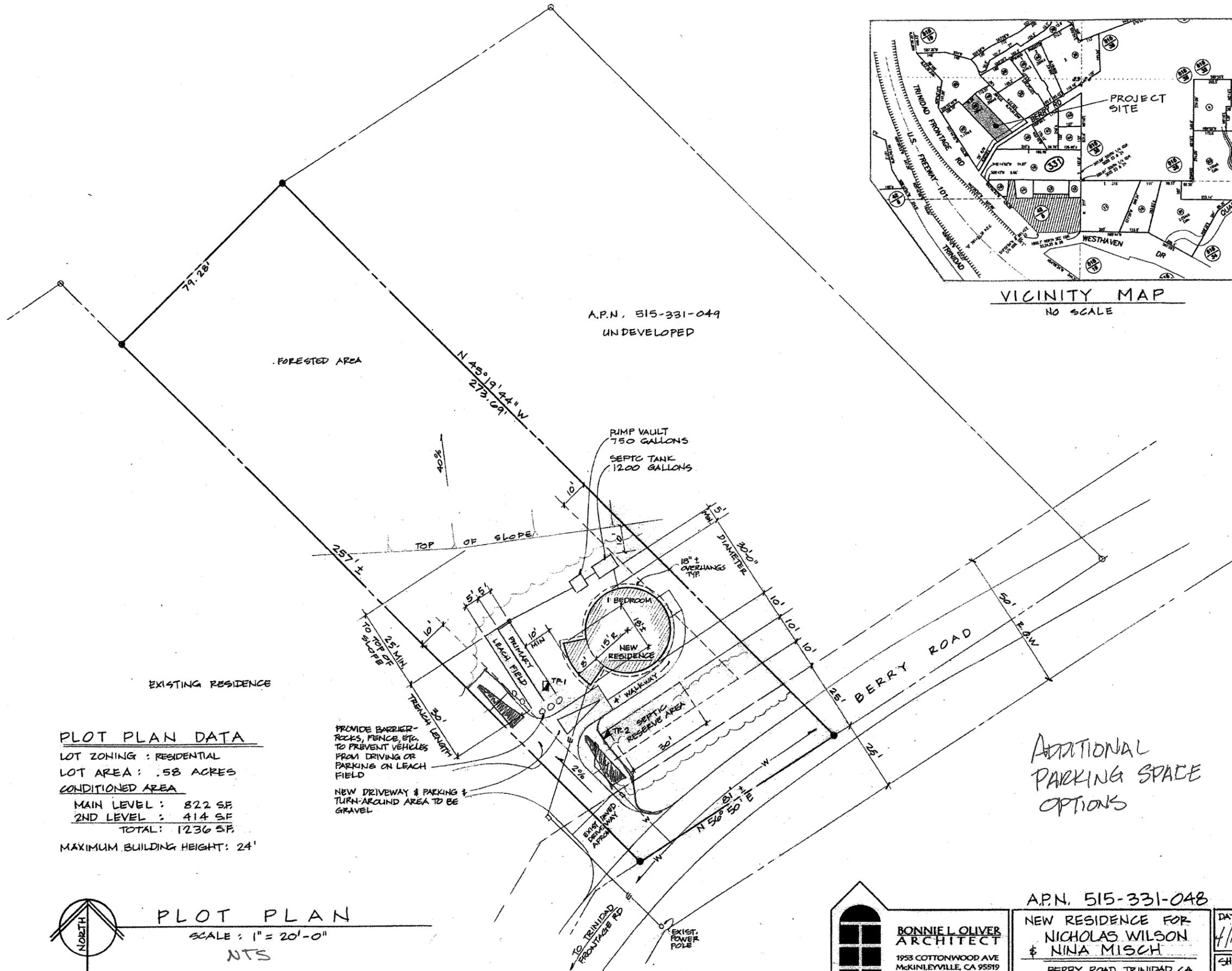
TITLE:  
 ARCHITECTURAL  
 PLANS  
 PAGE NO:  
 A1

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VICINITY MAP  
NO SCALE



A.P.N. 515-331-049  
UNDEVELOPED

FORESTED AREA

PUMP VAULT  
750 GALLONS  
SEPTIC TANK  
1200 GALLONS

EXISTING RESIDENCE

**PLOT PLAN DATA**

LOT ZONING : RESIDENTIAL  
LOT AREA : .58 ACRES  
CONDITIONED AREA

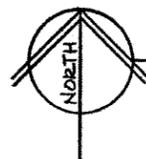
MAIN LEVEL : 822 SF  
2ND LEVEL : 414 SF  
TOTAL : 1236 SF

MAXIMUM BUILDING HEIGHT : 24'

PROVIDE BARRIER-ROCKS, FENCE, ETC. TO PREVENT VEHICLES FROM DRIVING OR PARKING ON LEACH FIELD

NEW DRIVEWAY & PARKING & TURN-AROUND AREA TO BE GRAVEL

ADDITIONAL  
PARKING SPACE  
OPTIONS



**PLOT PLAN**

SCALE : 1" = 20'-0"

NTS

**BONNIE OLIVER ARCHITECT**  
1953 COTTONWOOD AVE  
MCKINLEYVILLE, CA 95519  
(707) 839-8829  
bonnie.oliver@bglobal.net

A.P.N. 515-331-048

NEW RESIDENCE FOR  
NICHOLAS WILSON  
& NINA MISCH

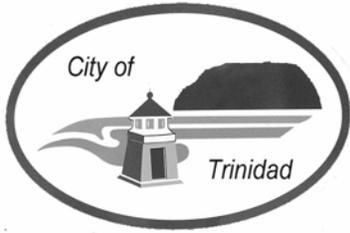
BERRY ROAD, TRINIDAD, CA

DATE:

4/14/16

SHEET

SD-1



Filed: May 10, 2016  
Staff: Trever Parker  
Staff Report: May 12, 2016  
Commission Hearing Date: May 18, 2016  
Commission Action:

**STAFF REPORT: CITY OF TRINIDAD**

APPLICATION NO: 2016-04

APPLICANT (S): City of Trinidad

AGENT: NA

PROJECT LOCATION: Edwards Street right-of-way from Ocean Ave. to the Memorial Lighthouse property

PROJECT DESCRIPTION: Design Review and Coastal Development Permit to install a 285 ft. long, 4 ft. tall, split-rail fence along the outer edge (bluff side) of the mowed path along Edward Street from Ocean Ave. to the Memorial Lighthouse.

ASSESSOR'S PARCEL NUMBER: NA – Edwards Street right-of-way

ZONING: NA

GENERAL PLAN DESIGNATION: NA

ENVIRONMENTAL REVIEW: Categorically Exempt from CEQA per §15301 of the CEQA Guidelines exempting additions, to and modifications of existing structures and §15303 exemption new construction of certain small structures.

APPEAL STATUS:

Planning Commission action on a coastal development permit, a variance or a conditional use permit, and Design Assistance Committee approval of a design review application will become final 10 working days after the date that the Coastal Commission receives a “Notice of Action Taken” from the City unless an appeal to the City Council is filed in the office of the City Clerk at that time. Furthermore, this project is  X  / ~~is not~~ appealable to the Coastal Commission per the City’s certified LCP, and per Section 30603 of the Coastal Act.

## **SITE CHARACTERISTICS:**

The proposed project is located along the outer (south / bluff side) edge of the Edwards Street right-of-way. The Edwards Street right-of-way is approximately 60 ft. wide in this location, and therefore much of it is undeveloped. The fence will run along the outer edge of the mowed pathway that goes along Edwards and the top of the bluff. The fence will extend from the edge of the landscaping on the east side of the lighthouse property all the way to fence line of the property at the corner of Edwards and Ocean.

## **STAFF COMMENTS:**

This project has come about as part of the ongoing settlement negotiation discussions with the Tsurai Ancestral Society. The intent is to discourage trespass and disturbance of the culturally and environmentally sensitive Tsurai Study Area on the bluff below Edwards Street. The City Manager has requested that this proposal be reviewed by the Planning Commission. The chosen materials and design are common in coastal bluff top and trail settings, including in Trinidad and local state parks; they have been chosen to minimize aesthetic impacts. I have provided a rough site plan and photos to help you review the project.

## **PROJECT DESCRIPTION**

- Length – approximately 285 ft
- Runs from the landscaped edge of TML property to Frame's Fence
- Exact line is not straight - but basically six to 8 feet south of the curb, along the edge of where the Public Works crew mows.
- Approximately four feet high finished - six foot posts, two feet in the ground
- Posts to be set in gravel/dirt - not concrete.
- Posts 8' on center, 8' rails, so roughly 36 posts.
- Cultural monitor on site for post hole digging
- Project to include signs on fence - estimate three along this stretch-
  - Sign message - Sensitive Resource Area  
No Trespassing  
Gov Code XYZ, ABC...)

## **ZONING ORDINANCE/GENERAL PLAN CONSISTANCY:**

In most areas of the City, a project of this scale would be exempt from permit requirements. Section 17.72.070.C provides exemptions from Coastal Development Permits. Item 1.a exempts fences up to 6 ft. in height, except in the Special Environment and Open Space Zones. However, current Coastal Act regulations (14 CCR §13253) require a permit for almost any work within 50' of the edge of a coastal bluff or within a highly scenic area. Therefore a Coastal Development Permit is required.

Right-of-ways do not have any zoning associated with them, so those standards do not apply. However, because the fence is a structure that could impact views, Design Review approval is required.

Policy 69 of the General Plan states in part: *“There shall be no disturbance, vegetation removal or construction, except for a protective fence around the burial ground, on lands designated as Open Space within the Tsurai Study Area without the approval of the lineal descendants of Tsurai, Trinidad Rancheria, City of Trinidad and the State Historic Preservation Officer.”* The project is not located within the Tsurai Study Area, but is adjacent to it. Interested parties have been notified and given an opportunity to comment on the project. It is staff’s understanding that the Tsurai Management Team is in support of the project.

Policy 74 of the General Plan protects Open Space areas lying south of Edwards and Van Wycke streets from development in order to maintain the unparalleled views of the coastline. This project is consistent with this policy since it is located within Edwards Street. In addition, the fence design and natural materials have been chosen to blend into the landscape and to minimize impacts to views.

This project is consistent with the purposes of the Coastal Act (§30001.5) and Trinidad’s Local Coastal Plan by improving public access to and along the coast and enhancing public recreational opportunities and public safety consistent with sound resource conservation principles and private property rights. This coastal development permit process allows for maximizing public participation in the proposal, consistent with Coastal Act §30006. The project has been sited and designed to protect views to and along the coastline and other scenic resources, to minimize the alteration of existing landforms and to be visually compatible with the character of the surrounding areas, as required by Coastal Act §30251.

## **LANDSCAPING AND FENCING**

The project consists of construction of a low-key split rail fence to provide a barrier between the street and the sensitive bluff.

## **SLOPE STABILITY**

The project is located adjacent to a sensitive open space area and on top of an ocean bluff. The bluffs below the project site are designated as being of “questionable stability” and “unstable” on Plate 3 of the General Plan. Although the right-of-way itself is not mapped as such, bluff stability is still a concern. The proposed improvements will only require minimal disturbance of soils. The posts will be anchored with gravel and / or compacted soil rather than concrete to minimize additional weight placed on the top of the bluff. The City Engineer reviewed the project and provided the following assessment: *“It’s our understanding that the City is proposing to add a split rail fence (36 posts @ 8” OC backfilled with gravel) adjacent to Edwards Street and above the ocean bluff. Provided the fencing is located at least a few feet from the top of the bluff edge and standard construction methods are utilized (without the use of heavy equipment), we do not expect the installation of fencing to pose any additional risk to bluff instability.”*

## **SEWAGE DISPOSAL**

There is no sewage disposal system associated with this project or property.

### **DESIGN REVIEW/VIEW PRESERVATION FINDINGS:**

Because the project includes the construction of a structure that could affect views, this project is subject to the Design Review and View Preservation criteria set by Zoning Ordinance Section 17.60. Recommended Design Review / View Preservation Findings are written in a manner to allow approval without endorsing the project. However, if public hearing information is submitted or public comment received indicating that views, for instance, may be significantly impacted, or the structure proposed is obtrusive, the findings should be reworded accordingly.

#### **Design Criteria**

- A. *The alteration of natural landforms caused by cutting, filling, and grading shall be minimal. Structures should be designed to fit the site rather than altering the landform to accommodate the structure.* Response: Only minimal soil disturbance will be required. Approximately 36 posts will be placed approximately 2 ft deep in the soil using hand tools.
- B. *Structures in, or adjacent to, open space areas should be constructed of materials that reproduce natural colors and textures as closely as possible.* Response: The proposed split rail fence will be constructed with natural wood posts and rails.
- C. *Materials and colors used in construction shall be selected for the compatibility both with the structural system of the building and with the appearance of the building's natural and man-made surroundings. Preset architectural styles (e.g. standard fast food restaurant designs) shall be avoided.* Response: The proposed split rail fence will be constructed with natural wood posts and rails.
- D. *Plant materials should be used to integrate the manmade and natural environments to screen or soften the visual impact of new development, and to provide diversity in developed areas. Attractive vegetation common to the area shall be used.* Response: The wooden fence will blend with the natural vegetation of the bluff. No new landscaping is proposed.
- E. *On-premise signs should be designed as an integral part of the structure and should complement or enhance the appearance of new development.* Response: Approximately three signs are proposed to be placed on the fence with the intent to discourage trespassing into the sensitive bluff area.
- F. *New development should include underground utility service connections. When above ground facilities are the only alternative, they should follow the least visible route, be well designed, simple and unobtrusive in appearance, have a minimum*

*of bulk and make use of compatible colors and materials.* Response: No utilities are required for the project.

- G. *Off-premise signs needed to direct visitors to commercial establishments, as allowed herein, should be well designed and be clustered at appropriate locations. Sign clusters should be a single design theme.* Response: No off-premise signs are proposed as part of the project.
- H. *When reviewing the design of commercial or residential buildings, the committee shall ensure that the scale, bulk, orientation, architectural character of the structure and related improvements are compatible with the rural, uncrowded, rustic, unsophisticated, small, casual open character of the community. In particular:* Response: No buildings are associated with this project.

### **View Protection**

- A. *Structures visible from the beach or a public trail in an open space area should be made as visually unobtrusive as possible.* Response: The fence will be located within a significant viewshed. However, the proposed four foot height is similar to the height of the existing vegetation at the top of the bluff. And the fence will be constructed with a minimal amount of natural wooden posts and rails.
- B. *Structures, including fences over three feet high and signs, and landscaping of new development, shall not be allowed to significantly block views of the harbor, Little Trinidad Head, Trinidad Head or the ocean from public roads, trails, and vista points, except as provided in subdivision 3 of this subsection.* Response: The fence will be located within a significant viewshed. However, the proposed four foot height is similar to the height of the existing vegetation at the top of the bluff. And the fence will be constructed with a minimal amount of natural wooden posts and rails.
- C. *The committee shall recognize that owners of vacant lots...* Response: No building is associated with this project, and coastal views from residences are not expected to be impacted by the project.
- D. *If a residence is removed or destroyed by fire or other means...* Response: No previous residence was destroyed.
- E. *The Tsurai Village site, the Trinidad Cemetery, the Holy Trinity Church and the Memorial Lighthouse are important historic resources. Any landform alterations or structural construction within one hundred feet of the Tsurai Study Area, as defined in the Trinidad general plan, or within one hundred feet of the lots on which identified historical resources are located shall be reviewed to ensure that public views are not obstructed and that development does not crowd them and thereby reduce their distinctiveness or subject them to abuse or hazards.* Response: The project is located within 100' of the Tsurai Study Area and the

Memorial Lighthouse. The intent is to discourage trespass and help protect the TSA. The fence is consistent with existing fencing around the lighthouse and adjacent property.

## **STAFF RECOMMENDATION**

Based on the above analysis, the project can be found to be consistent with the City's Zoning Ordinance, General Plan, Coastal Act, and other applicable policies and regulations. Therefore the necessary findings for granting approval of the project can be made. If the Planning Commission agrees with staff's analysis, a proposed motion might be similar to the following:

Based on application materials, information and findings included in this Staff Report, and based on public testimony, I move to adopt the information and required Design Review and View Protection findings in this staff report and approve the project as described in this staff report and as conditioned herein.

## **PLANNING COMMISSION ALTERNATIVES**

If the Planning Commission does not agree with staff's analysis, or if information is presented during the hearing that conflicts with the information contained in the staff report, the Planning Commission has several alternatives.

- A. Add conditions of approval to address any specific concerns on the part of the Commission or the public.
- B. Delay action / continue the hearing to obtain further information.
  - In this case, the Planning Commission should specify any additional information required from staff or the applicant and / or suggestions on how to modify the project and / or conditions of approval.
- C. Denial of the project.
  - The Planning Commission should provide a motion that identifies the Finding(s) that can not be made and giving the reasons for the inability to make said Finding(s).

## **CONDITIONS OF APPROVAL**

1. The applicant shall employ a certified monitor, as necessary, from either the Yurok Tribe or Tsurai Ancestral Society to monitor any soil disturbing activities (post hole digging) during construction. *Responsibility: City to ensure during construction.*
2. The project will be constructed using only hand tools. *Responsibility: City to ensure during construction.*



Google earth



